

CITY OF LOS ALAMITOS

3191 Katella Avenue
Los Alamitos, CA 90720

AGENDA PLANNING COMMISSION REGULAR MEETING Wednesday, May 25, 2016 – 7:00 PM

NOTICE TO THE PUBLIC

This Agenda contains a brief general description of each item to be considered. Except as provided by law, action or discussion shall not be taken on any item not appearing on the agenda. Supporting documents, including staff reports, are available for review at City Hall in the Community Development Department or on the City's website at www.cityoflosalamitos.org once the agenda has been publicly posted.

Each matter on the agenda, no matter how described, shall be deemed to include any appropriate motion, whether to adopt a minute motion, resolution, payment of any bill, approval of any matter or action, or any other action. Items listed as "for information" or "for discussion" may also be the subject of an "action" taken by the City Council at the same meeting.

Any written materials relating to an item on this agenda submitted to the Planning Commission after distribution of the agenda packet are available for public inspection in the Community Development Department, 3191 Katella Ave., Los Alamitos CA 90720, during normal business hours. In addition, such writings or documents will be made available for public review at the respective public meeting.

It is the intention of the City of Los Alamitos to comply with the Americans with Disabilities Act (ADA) in all respects. If, as an attendee, or a participant at this meeting, you will need special assistance beyond what is normally provided, please contact the Community Development Department at (562) 431-3538, extension 303, 48 hours prior to the meeting so that reasonable arrangements may be made. Assisted listening devices may be obtained from the Planning Secretary at the meeting for individuals with hearing impairments.

Persons wishing to address the Planning Commission on any item on the Planning Commission Agenda shall sign in on the Oral Communications Sign In sheet which is located on the podium once the item is called by the Chairperson. At this point, you may address the Planning Commission for up to **FIVE MINUTES** on that particular item.

1. **CALL TO ORDER**
2. **ROLL CALL**
 - Chair Cuiilty
 - Vice Chair Andrade
 - Commissioner DeBolt
 - Commissioner Grose
 - Commissioner Loe
 - Commissioner Riley
 - Commissioner Sofelkanik
3. **PLEDGE OF ALLEGIANCE**

4. ORAL COMMUNICATIONS

At this time any individual in the audience may address the Planning Commission and speak on any item within the subject matter jurisdiction of the Commission. If you wish to speak on an item listed on the agenda, please sign in on the Oral Communications Sign In sheet located on the podium. **Remarks are to be limited to not more than five minutes.**

5. APPROVAL OF MINUTES

None.

6. CONSENT CALENDAR

A. Boards, Commissions, and Committees Policy Handbook

At its April 18, 2016 meeting, the City Council unanimously adopted Resolution 2016-11, adopting the City's Policy Handbook for Boards, Commissions, and Committees. The information is being provided to the Commissions.

Recommendation: Receive and file.

7. PUBLIC HEARINGS

**A. Site Plan Review (SPR) 16-02
Conditional Use Permit (CUP) 16-04
Conditional Use Permit (CUP) 16-05
Marriott Fairfield Inn Hotel**

Planning Commission consideration of a Marriott Fairfield Inn & Suites Hotel at 10650 Los Alamitos Boulevard (APN 242-243-03) on a 2.3 acre vacant parcel in the General Commercial (C-G) Zoning District. (Applicant: Shamir Narsai – Triple Sons Investments, LLC.)

Recommendation:

1. Open the Public Hearing; and, if appropriate,
2. Determine that the proposed use is exempt from the provisions of the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15332 *In-Fill Development Projects*; and,
3. Adopt Resolution No. 16-11, entitled, "A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LOS ALAMITOS, CALIFORNIA, APPROVING SITE PLAN REVIEW (SPR) 16-02 TO ALLOW CONSTRUCTION OF A FOUR-STORY 61,643 SQUARE FOOT HOTEL AT 10650 LOS ALAMITOS BOULEVARD, IN THE GENERAL COMMERCIAL (C-G) ZONING DISTRICT, APN 242-243-03, AND DIRECTING A NOTICE OF EXEMPTION BE FILED FOR A

CATEGORICAL EXEMPTION FROM CEQA (APPLICANT: SHAMIR NARSAI – TRIPLE SONS INVESTMENTS, LLC).”

4. Adopt Resolution No. 16-12, entitled, “A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LOS ALAMITOS, CALIFORNIA, APPROVING CONDITIONAL USE PERMITS (CUP) 16-04 & 16-05 TO ALLOW CONSTRUCTION OF A FOUR-STORY 61,643 SQUARE FOOT HOTEL WITH INCREASED BUILDING HEIGHT AT 10650 LOS ALAMITOS BOULEVARD, IN THE GENERAL COMMERCIAL (C-G) ZONING DISTRICT, APN 242-243-03, AND DIRECTING A NOTICE OF EXEMPTION BE FILED FOR A CATEGORICAL EXEMPTION FROM CEQA (APPLICANT: SHAMIR NARSAI – TRIPLE SONS INVESTMENTS, LLC).”

B. General Plan Amendment (GPA) 16-01 and Zoning Map Amendment (ZOA) 16-01 - 4411 Katella Avenue.

Consideration of a General Plan Amendment and Zoning Map Amendment to the 28 acre site commonly known as Arrowhead Property. More specifically, this property is identified as Orange County Assessor Parcel Nos. 241-241-08, 241-241-09, 241-241-10 and 241-241-11 (4411 Katella). The change would be from the current General Plan Designation (Planned Industrial with Retail Overlay) to Retail Business and amend the Zoning Map (Planned Light Industrial with Retail Overlay) to General Commercial (C-G).

Recommendation:

1. Open the Public Hearing; and, if appropriate,
2. Determine that the proposed amendment has been reviewed in compliance with the provisions of the California Environmental Quality Act (CEQA). The City Council of the City of Los Alamitos, California, certified the Final Environmental Impact Report on March 23, 2015 for the Los Alamitos General Plan to include land use changes for various parcels and adopting environmental findings, a statement of overriding considerations and a mitigation monitoring and reporting plan pursuant to the California Environmental Quality Act. The changes in this ordinance are within the scope of the Program EIR which adequately describes the changes for purposes of CEQA as the changes parallel the changes made by the General Plan. As zoning is required to be consistent with the General Plan, the impacts relating to the zone changes are identical to the impacts that were covered in the Program EIR and there are no new impacts which would occur from such changes; and,
3. Planning Commission adopt Resolution No. 16-13, entitled, “A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LOS ALAMITOS, CALIFORNIA, RECOMMENDING TO THE CITY COUNCIL TO ADOPT GENERAL PLAN AMENDMENT (GPA) 16-01 TO CHANGE THE LAND USE DESIGNATION FROM PLANNED

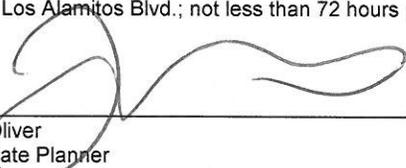
INDUSTRIAL RETAIL OVERLAY ZONE (P-M ROZ) TO RETAIL BUSINESS (R-B) AND ADOPT ZONING ORDINANCE AMENDMENT (ZOA) 16-01 TO CHANGE ZONING DESIGNATIONS FROM THE PLANNED LIGHT INDUSTRIAL RETAIL OVERLAY ZONE (P-M ROZ) TO THE GENERAL COMMERCIAL (C-G) ZONE FOR PROPERTY AT 4411 KATELLA AVENUE, ASSESSOR PARCEL NOS. 241-241-08, 241-241-09, 241-241-10 AND 241-241-11 (APPLICANT: CITY OF LOS ALAMITOS)".

- 8. ITEMS FROM THE DEVELOPMENT SERVICES DIRECTOR
- 9. COMMISSIONER REPORTS
- 10. ADJOURNMENT

APPEAL PROCEDURES

Any final determination by the Planning Commission may be appealed to the City Council, and must be done so in writing at the Community Development Department, within twenty (20) days after the Planning Commission decision. The appeal must include a statement specifically identifying the portion(s) of the decision with which the appellant disagrees and the basis in each case for the disagreement, accompanied by an appeal fee of \$1,000.00 in accordance with Los Alamitos Municipal Code Section 17.68 and Fee Resolution No. 2008-12.

I hereby certify under penalty of perjury under the laws of the State of California, that the foregoing Agenda was posted at the following locations: Los Alamitos City Hall, 3191 Katella Ave.; Los Alamitos Community Center, 10911 Oak Street; and, Los Alamitos Museum, 11062 Los Alamitos Blvd.; not less than 72 hours prior to the meeting.



Tom Oliver
Associate Planner

5/18/16

Date

City of Los Alamitos

Agenda Report Consent Calendar

May 25, 2016
Item No: 6A

To: Chair Cuijty and Members of the Planning Commission

Via: Steven A. Mendoza, Development Services Director

From: Windmera Quintanar, CMC, City Clerk

Subject: Boards, Commissions, and Committees Policy Handbook

Summary: At its April 18, 2016, the City Council unanimously adopted Resolution 2016-11, adopting the City's Policy Handbook for Boards, Commissions, and Committees. The information is being provided to the Commissions,

Recommendation: Receive and file.

Background

The Los Alamitos Municipal Code addresses the City's Boards, Commissions, and Committees within Title 2. Council adopted Ordinance 2015-06 which streamlined the policies and information for each body. The goal was to help ensure consistency for all Commissions in the way they handle their meetings and conduct themselves.

The City Clerk's Office has prepared a user friendly Handbook which contains the updated information for each appointed body in an easy to understand format. The Handbook is now being presented to each active Commission.

Discussion

The proposed Handbook provides a brief background on the City and organization structure. The Handbook outlines the recruitment and appointment process, proper relationships for Commissioners with City Council, Staff, other appointed members, and the public; the roles of City Council, Staff, and Commissioners; an overview of the agenda process and holding a meeting; procedures during a meeting; and, an outline of each Commission.

Some important issues have been highlighted below. This is not all inclusive and you are highly encouraged to read the Handbook thoroughly and ask questions you may have.

Recruitment and Appointment Process

The recruitment process remains the same. The City Clerk's Office will post an Availability Notice when vacancies occur. All interested parties, including incumbents, must submit an application to the City Clerk's Office. Commission members are encouraged to submit the names of qualified, interested parties for each vacancy. Council will interview all applicants and make appointments as needed. Commissioners serve at the City Council's pleasure. Upon appointment, Commissioners will take an Oath of Office and complete a Form 700.

Attendance and Removal

Absence from three consecutive meetings or from one-third (1/3) of the total of the regularly scheduled meetings during any calendar year shall result in the resignation of the Commissioner and the position will automatically become vacant. The Chair or Vice-Chair of the Commission is responsible for notifying the City Clerk, who will then will notify the City Council and the former Commissioner of the vacancy.

Commissioners' Role

All Boards and Commissions act in an advisory capacity to City Council. Appointed members review and make recommendations to the City Council, but they do not establish City policy or administer City programs. Appointed members are encouraged to provide alternate solutions or recommendation for action or policy and listen to and reflect community interests, needs, and values to the City Council.

Agendas

The Staff liaison is responsible for preparation and distribution of an agenda and supporting documents prior to each meeting. The Secretary will prepare the agenda under the direction of the Department Director. Staff will add necessary items to the agenda as needed for Commission consideration.

The Commission shall make all requests for discussion items to be placed on an agenda publicly at a Commission meeting and require the support of the majority of the members present to have the item researched by Staff and added to the agenda. Staff will prioritize requests and bring items forward to the Commission in a timely manner. Documentation and information on the item shall be provided to Staff by the requesting Commission member prior to the agenda deadline.

Attachment: 1. City Council Resolution No. 2016-11 including Handbook

RESOLUTION NO. 2016-11

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF
LOS ALAMITOS, CALIFORNIA, ADOPTING THE BOARDS,
COMMISSIONS, AND COMMITTEES POLICY HANDBOOK

WHEREAS, the City Council of the City of Los Alamitos strives to provide consistent policies for its legislative bodies; and,

WHEREAS, the regulations for the City's Boards, Commissions, and Committees is laid out in Title 2 of the Los Alamitos Municipal Code; and,

WHEREAS, this Handbook will be complimentary to the Los Alamitos Municipal Code and provide an easy to understand format for the City's appointed bodies; and,

WHEREAS, this Handbook will provide a quick reference for all appointed bodies to help ensure they carry out their duties in a fair and consistent manner.

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF LOS ALAMITOS DOES RESOLVE AS FOLLOWS:

SECTION 1. The City Council of the City of Los Alamitos, California, finds that the above recitals are true and correct.

SECTION 2. The City Council hereby adopts the Boards, Commissions, and Committees Policy Handbook (Exhibit A).

SECTION 3. The City Clerk shall certify as to the adoption of this Resolution.

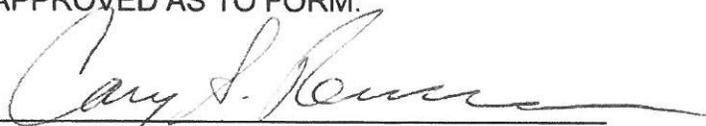
PASSED, APPROVED, AND ADOPTED this 18th day of April, 2016.



Richard D. Murphy, Mayor

ATTEST:


Windmera Quintanar, CMC, City Clerk

APPROVED AS TO FORM:


Cary S. Reisman, City Attorney

CITY OF LOS ALAMITOS



BOARDS, COMMISSIONS, AND COMMITTEES POLICY HANDBOOK

CITY OF LOS ALAMITOS
3191 Katella Avenue
Los Alamitos, CA 90720
Phone (562) 431-3538 FAX (562) 493-1255

www.cityoflosalamitos.org

CITY OF LOS ALAMITOS

VISION STATEMENT

To ensure Los Alamitos small town ambiance, high quality of life, and economic vitality are maintained and strengthened



CITY FACTS

Los Alamitos was incorporated March 1, 1960.

Los Alamitos' size is 4.3 square miles



This manual has been prepared to assist Commissioners and members of Committees in the performance of their duties. Included are standards adopted by City Council that delineate the administrative procedures and the rules and regulations that relate to the Boards, Commissions, and Committees.

This manual is intended to give Commissioners an orientation of their Commission. It includes an overview of the Commission's role and responsibilities and the structure and procedures of Los Alamitos' Municipal Government.

Los Alamitos Commissioners are vital to the City's organization and its efforts to meet the needs and interests of the Community. This manual will assist Commissioners as a member of the team. The City Council and Staff are most appreciative of Commissioner's time and efforts.

GENERAL INFORMATION

History of Los Alamitos

On March 1, 1960, the township of Los Alamitos became a chartered city. The 4.05 square mile city of Little Cottonwoods was affectionately described as *A Jewel of a City*. The City's seal, designed by longtime resident William A. Daniels, captures the ancestry of the region. The official flower, the Daisy, reflects the importance of our City's youth since it was nominated by a young boy because it was his mother's favorite flower. Still embracing its small town ambience, the City offers excellent recreational and park facilities, a stellar police department, and an enthusiastic Chamber of Commerce. With a population estimated at just over 11,600, its outstanding schools, friendly neighborhoods and strategic location as the crossroads of two major freeways, Los Alamitos keeps its roots in history and its future vested in those who cherish this special community.

Charter City

The City of Los Alamitos is a charter city operating under a Council-Manager form of government. The City Charter is ordained and established as the organic law of the City under the Constitution of the State of California.

In the Council-Manager form of City government, the City Council appoints a City Manager to serve as a full-time executive to carry out the established policies. The City Council appoints all legal counsel to provide City Attorney services, and the City Council appoints the City Clerk. All department directors are appointed by, and report to, the City Manager.

City Council

A five-member City Council is elected at large to perform the legislative and policy-making functions of local government. Terms are staggered to allow for overlap; alternatively, and successively, three members' terms are filled at one general municipal election and two members' terms at the next such election. Council Members' terms of office are for four years and members are limited to serving a total of 12 consecutive years or three terms. Annually, the Council Members select a Mayor and Mayor Pro Tempore.

The Los Alamitos City Council conducts regularly scheduled meetings once monthly, on the third Monday, beginning at 6:00 p.m., in the City Council Chamber, located at 3191 Katella Avenue.

All Council meetings are public meetings. Agendas and general information relative to the meetings are available from the City Clerk's Office. They can also be viewed on the City's website at www.cityoflosalamitos.org.

LOS ALAMITOS ORGANIZATIONAL STRUCTURE

The City of Los Alamitos consists of the departments of City Manager, City Clerk's Office, Administrative Services, Police, Community Development, Public Works, and Recreation and Community Services.

City Manager's Office

This office is dedicated to developing policy and legislative actions that provide a safe and healthy environment to promote the highest quality of life to residents and visitors. It is also dedicated to providing leadership for the effective and efficient delivery of municipal services. This department is responsible for the general management of all City operations in the areas of Administration, City Attorney, Human Resources, Legislative Matters, Risk Management, Information Services and Video Production.

City Clerk's Office

This office is committed to providing exceptional and transparent customer service to internal and external customers, supporting City Council and Staff. As the principal link between the public, the City Council, and the City organization, the City Clerk's Office administers democratic processes, including City elections and managing vital City records.

Administrative Services Department

This department is responsible for finance, budget, and treasury and is also responsible for the purchase of most equipment and supplies. This department manages all personnel related functions within the city.

Police Department

This department is responsible for the protection of lives and property of the residents of Los Alamitos and for the enforcement of established laws and City Ordinances. The department is dedicated to providing the highest degree of professional police services in partnership with the community to make Los Alamitos a better place to live, visit and conduct business. The department also provides special programs such as the Community Emergency Response Team and Emergency Preparedness.

Development Services Department

This department is dedicated to enhancing the appearance of the City through its neighborhood and business environment and to improving the economic well-being of its community and residents. The department consists of Current and Advance Planning, Building and Safety Inspection, Code Enforcement Services, Public Works, and Engineering. Public Works is responsible for sustaining the high quality of the City's public facilities and infrastructure through cost-effective maintenance. The Engineering Division is responsible for engineering design, contracts, capital improvement projects, and traffic. The Public Services Division is responsible for maintenance of all City-owned landscaped parks, storm drains, streets and sidewalks, traffic signals, and building maintenance.

Recreation and Community Services Department

This department is responsible for recreation and community services programs, and community-wide special events designed to benefit residents of all ages and interest. The department creates community and improves the quality of life through its aquatics, day camp, park programs, sports, special classes and senior programs.

Other City Services

Fire Services are provided by the Orange County Fire Authority. Waste disposal and cable communication services are provided to residents as established through franchise agreements. Animal control services are contracted with the City of Long Beach and library services are provided to the community through the County of Orange. The City also contracts for City Attorney services.

BOARDS, COMMISSIONS, AND COMMITTEES

The City's Charter allows the City Council to create by ordinance Boards or Commissions and may grant to them powers and duties consistent with the provisions of the City's Charter. California Government Code 54950, often referred to as the Ralph M. Brown Act, establishes guidelines for open and public meetings of legislative bodies. It defines "legislative body" broadly to include just about every type of decision-making body of a local agency.

Board, Commission, and Committee members are advisory bodies. They are appointed by and serve at the pleasure of the City Council in an advisory capacity to provide citizen input and recommendations. They advise and make recommendations to the City Council, but the City Council has the final responsibility for all policy decisions. The Planning Commission also serves as a decision making body, per State law.

An appointment to a Board, Commission, or Committee is an honor and a responsibility and increases citizen participation in the affairs of government. As advisors, regular attendance at meetings, understanding the duties and role, and working to contribute to the betterment of the community are needed of each member. City staff provides technical and administrative assistance to the City Council and appointed advisory groups.

COMPOSITION

The Boards, Commissions and Committees are composed of the following number of members. Members are appointed by the City Council as terms expire and/or as vacancies occur.

- Cable Television Commission (5 members plus 1 student member)
- Parks, Recreation & Cultural Arts Commission (7 members)
- Personnel Appeals Commission (5 members)
- Planning Commission (7 members)
- Traffic Commission (7 members)

RECRUITMENT AND APPOINTMENT PROCESS

Only registered voters of the City of Los Alamitos are eligible for appointments. All Board, Commission and Committee members are appointed by, and serve at the pleasure of, the City Council. The City Clerk oversees the appointment process and maintains a roster of all appointees.

Applications

Those wishing to apply for appointment to a Board, Commission or Committee may do so by filling out an application form available from the office of the City Clerk. Every effort is made by the Council to give representation on a Board, Commission or Committee from a diverse cross-section of the City's citizens. A resident may apply concurrently for appointment to more than one Board, Commission or Committee, but may be appointed to only one of these advisory bodies at a time.

The process of filling vacancies is as follows:

1. An Availability Notice, detailing the Commission/Board's purpose, meeting location/time and current vacancy is prepared. The Notice specifies a thirty (30) day filing period in which applications are accepted. The Notice is sent to local newspapers and posted at City Hall, the Community Center and the Museum.
2. Only new applications will be considered for current vacancies. Residents who are not current appointees and are interested in serving on a Commission/Board are invited to complete and submit a new application during the thirty (30) day filing period. Each Commission application will be specific to that Commission.
3. Once the application deadline is met, a date will be scheduled for City Council to interview all applicants for the vacancy under consideration. Thereafter, the appointment will be made by the City Council.

Terms

All members shall be appointed for a term of three years, with the exception of members of the Personnel Appeals Commission, who serve four years.

Oath of Office

Newly appointed member of a Board, Commission or Committee is required to take the Oath of Office as administered by the City Clerk or designee. Upon completion of the Oath, the member is authorized to attend meetings and vote.

Statements of Economic Interests – Form 700

All members of established City Boards, Commissions and Committees are required under State Law to file a Statement of Economic Interest 700 Form, with the City Clerk, upon assuming office. Annual statements must be filed each year thereafter as long as you hold office. A Leaving Office form must be completed upon leaving office.

Compensation

Charter: The members of Boards and Commissions shall serve without compensation for their services, but may receive reimbursement for necessary traveling and other expenses incurred on official duty when such expenditures have received authorization by the City Council.

LAMC Chapter 2.30.080: All members of the Cable Television Commission, Parks, Recreation and Cultural Arts Commission, Planning Commission, Personnel Appeals Board, and Traffic Commission of the City shall be provided a ten thousand dollar (\$10,000.00) group life insurance policy while appointed to the Commission or Board, with the premium of the policy to be paid by the City during such time. Upon expiration of their term or removal from office, such members shall not be entitled to any further compensation, including such policy.

ATTENDANCE AND REMOVAL

Council appointments made to a Board, Commission or Committee are held in high regard and an appointed advisory member is expected to attend and participate in all of the meetings held by the advisory group.

Absence from three consecutive meetings or from one-third (1/3) of the total of the regularly scheduled meetings during any calendar year shall be deemed to constitute the resignation of such member and the position shall automatically become vacant. The Chair or Vice-Chair of the Commission shall thereupon promptly notify the City Clerk. The City Clerk will notify the City Council and the former Commissioner of the fact of the vacancy.

Members of the Commission shall serve at the will and pleasure of the City Council. Therefore, they may, at any time, be removed from office, with or without cause, by a majority vote of the City Council whenever, in its discretion, the best interests of the City shall be served thereby.

RELATIONS OF THE BOARDS, COMMISSIONS, AND COMMITTEES

Relationships with the City Council

When a member of an advisory body addresses the City Council at a public meeting, it shall be made clear whether the member is speaking on behalf of the advisory body or as an individual citizen.

Business transacted with the City Council should be in writing from the Board, Commission or Committee, and representing decisions made by a majority of the advisory group. The written communication, addressed to the City Council, should be channeled through the Chair of the advisory group and submitted to the City Manager's office.

A Board, Commission or Committee should not represent proposals to the City Council through community organizations. The method of advancing proposals carries the political influence of the organization as well as the proposal, which puts the Council in a difficult position to consider the proposal on its merits alone.

Relationships with City Staff

The City's administrative staff works for and is responsible to the City Manager. The City Manager may assign Staff to act in a technical advisory capacity and provide supportive assistance to a Board, Committee or Commission.

The Commission shall have the authority to utilize the services of the City Staff and such professional and other personnel as may be employed by the City from time to time as long as services rendered are within the City's adopted budget. Members shall not ask Staff to commit Staff resources for work that has not been budgeted or has not been approved by the City Council.

The Commission shall make all requests for discussion items publicly at a Commission meeting and require the support of the majority of the members present to have the item researched by Staff and added to the agenda. Staff will prioritize requests and bring items forward to the Commission in a timely manner.

Relationships with Other Board, Commission or Committee Members

In order to build a consensus around common goals and objectives, each Board, Commission and Committee must create a degree of cooperation among members. An important way to develop this cooperation is for each member to ensure that meetings proceed in an orderly manner. The Chairperson is primarily responsible for seeing that consideration of agenda items moves along expeditiously with reasonable time allocated to each item. It is important that all members familiarize themselves with the basic rules of parliamentary procedure and by adequately preparing for presentations made to the Board, Commission or Committee, and thoroughly reviewing all materials provided to them before the meeting.

All Boards, Commission and Committees should be aware that members come from different backgrounds and represent different perspectives. Members contribute in their own way and are an important part of the decision-making process.

Bearing this in mind, the following concepts may serve as guidelines to develop cooperation:

- Always respect other individuals' viewpoints even though they may be the opposite of your own.
- Allow other individuals to articulate their views and then attempt to make an objective evaluation of those views.
- Evaluate fellow Board, Commission or Committee members' viewpoints based on what is best for the total community.
- Board, Commission and Committee members must be open and honest at all times.
- Each member has a responsibility to recognize new members and to see that they are made welcome and become oriented and trained.

Relationships with the Public

Members are encouraged to seek out and become aware of public opinion relating to their field of influence. They should welcome citizen input at meetings and ensure that the rules and procedures for these public hearings are clearly understood.

Members should conduct themselves at public meetings in a manner that is fair and best represents the City of Los Alamitos. Members should be considerate of all interests, attitudes, and differences of opinion. They should also take care to observe the appearance, as well as the principle, of impartiality.

ROLE OF CITY COUNCIL, ADVISORY MEMBERS, AND STAFF

Board, Commission and Committee members are appointed to serve in an advisory capacity to provide citizen input and recommendation of policy relative to its specific area of assignment. The Planning Commission is advisory and a decision-making body, per State law. Board, Commission and Committee members serve at the City Council's pleasure.

City Staff provides technical and administrative assistance to the City Council, Boards, Commissions and Committees, and serve at the direction of the City Manager, who in turn answers to the City Council.

City Council's role is to:

- Adhere to the Municipal Code
- Establish policy and direct the City Manager to carry out policy
- Solicit input from Boards, Commissions and Committees on issues in their various functional areas unless there are legal or time constraints

All Boards and Commissions shall review and make recommendations to the City Council on all matters pertaining to specific areas of designation. The general duties applicable to all Los Alamitos Boards, Commissions and Committees shall be:

- Review and recommend policy to the City Council. The appointed members do not establish City policy or administer City programs. Appointed members are encouraged to provide alternate solutions or recommendation for action or policy.
- To act in an advisory capacity to City Council and to cooperate with all governmental agencies and civic groups
- Listen to and reflect community interests, needs, and values to the City Council
- Represent the overall public good and not that of an exclusive group or interest
- Be informed of the scope of responsibility and operating procedures of the advisory groups
- Serve as a sounding Board for the community and City administrators

Commission specific roles and duties can be found at the end of this policy.

Staff's role is to:

- Research and investigate issues, prepare alternatives and recommendations for Boards, Commissions, Committees and City Council review
- Implement City Council policy decisions
- Provide Staff liaison and clerical support to the Board, Commission, or Committee under the guidance of the Department Director and City Manager

Designated Staff shall serve as liaisons and/or Secretaries to each Commission. Representatives from other departments may attend when appropriate as well.

The following departments shall serve as Staff liaisons and/or Secretaries to each Board, Commission, and Committee:

Board, Commission, and Committee	Department
Cable Television Commission	Cable Operations Manager (Contract)
Parks, Recreation & Cultural Arts Commission	Recreation & Community Services
Personnel Appeals Board	Administrative Services Director
Planning Commission	Community Development
Traffic Commission	Public Works/Police Department

Boards, Commissions, and Committee Recommendations

Board and Commission recommendations are forwarded to the City Council by Staff. The timeframe for City Council or Commission consideration may vary depending upon issue and urgency. The Planning Commission has certain legal timeframes in which to hear certain subject matter. City Council may reject recommendations, not for the lack of confidence in the suggestion, but due to other issues and considerations the Council must weigh in order to reach the decision that meets the legal responsibility and general welfare of the community.

ROLE OF OFFICERS

Election of Officers

The officers of City Boards, Commissions, and Committees shall consist of a Chairman and a Vice Chairman. The Chairman and Vice Chairman are elected annually at the first regular meeting of each calendar year. These positions hold office for a term of one year. Election shall be by a majority vote cast of the members present at the meeting the election is held. Officers shall assume office immediately upon election.

The Secretary shall be the Staff liaison who oversees the Commission appointed by the City Manager.

Duties

It shall be the duty of the Chairman to:

- Preside at all meetings of the Commission
- Call, and preside at, special meetings
- Sign all necessary and appropriate resolutions and other documents in the name of the Commission
- Name and appoint all necessary and appropriate committees of the Commission
- Represent the Commission or designate a representative of the Commission at all meetings and functions required by law or otherwise

It shall be the duty of the Vice Chairman to:

- Perform all duties of the Chairman in the absence or temporary illness of the Chairman

It shall be the duty of the Secretary to:

- Prepare, post, and distribute an agenda for all meetings of the Commission
- Make and maintain minutes of the proceedings of the Commission
- Sign, as Secretary, in the name of the Commission, all necessary and appropriate resolutions, notices and other documents authorized and directed by the Commission
- Receive and process all applications and all matters relating to the Commission.

MEETINGS AND PREPARATION

Agendas

The Staff liaison is responsible for preparation and distribution of an agenda and supporting documents prior to each meeting. All reports to be submitted at a scheduled meeting must be delivered to the Secretary prior to the deadline established by administrative policy. The Secretary will prepare the agenda under the direction of the Department Director. Staff will add necessary items to the agenda as needed for Commission consideration.

The Commission shall make all requests for discussion items to be placed on an agenda publicly at a Commission meeting and require the support of the majority of the members present to have the item researched by Staff and added to the agenda. Staff will prioritize requests and bring items forward to the Commission in a timely manner. Documentation and information on the item shall be provided to Staff by the requesting Commission member prior to the agenda deadline.

The agenda shall be made available to the members at least 72 hours preceding the regular meeting to which it pertains and 24 hours preceding a special meeting.

The Chairperson or the majority of the members of the advisory group may call special meetings.

Adjourned Meetings

If, for any reason, the business to be considered at a regular meeting cannot be completed, less than a quorum of the members may designate a time and date for an adjourned meeting. Any matter to be considered at a regular meeting may be processed at an adjourned meeting. But, in order to so adjourn, it is necessary that this be announced to the public present at the time of adjournment and so recorded in the minutes.

The original 72-hour posting requirement is valid for taking action at an adjourned meeting. A notice of adjournment must be posted within 24 hours of adjournment.

Quorum

A quorum consists of a majority of the members of the Commission. A quorum is required to conduct the business of any meeting whether it is regular, adjourned, or special. A majority vote of the members present and voting, where a quorum is present at any regular/special meeting, is required to carry a motion, proposal or resolution. Although a Commissioner is expected to be present at all meetings, should he/she know in advance that this will be impossible; he/she should so notify the Commission Secretary or Chairperson, or a Staff member.

In the event that a majority of Commissioners will not be present to conduct a meeting, the Staff liaison shall be notified in order to publicly post the meeting cancellation.

REGULATIONS TO HOLD A MEETING

All Commissions and standing Committees shall meet regularly, as needed (provided there are business items to agendize for consideration), in a location within the City of Los Alamitos, and shall meet the notice and meeting provisions of the Brown Act.

All meetings shall be open to the public except as otherwise authorized by the laws of the State of California. Regular minutes of such meetings shall be maintained by these advisory groups and available for public inspection at all times.

A meeting includes any gathering of a majority of the members of the advisory group to hear, discuss, or deliberate upon any item, which is within its subject matter jurisdiction. A meeting also includes any use of direct communication, personal intermediaries, or technological devices, which are employed by a majority of the members of the Commission to develop a collective concurrence on any action to be taken on at any time by members of the legislative body.

Parliamentary Procedures

The procedure of the body shall be governed by majority vote of the body except as provided by the Los Alamitos Municipal Code, the City Charter, other rules adopted by the City Council, or applicable provisions of State Law. Rosenberg's Rules of Order may be used as a guide but shall not be conclusive authority on any question of order or procedure.

THE BROWN ACT

The Brown Act is a State Law requiring open meetings. It requires, among other things, that Commission meetings be open to the public (e.g., adequate meeting notification).

The law requires that the meeting agenda be posted 72 hours in advance, and that no changes can be made after that time. The notice must contain the time and place for such a meeting and the agenda subject to be considered. The law states that no action may be introduced or taken on items not on the agenda.

The law requires that meetings, at which a quorum of the members is in attendance, must be open to the public. For this reason, less than 50% of the members may be assigned to sub-Committees; otherwise it would create a quorum.

Open and Public Meetings

All advisory group meetings are required to be non-discriminatory to the public, handicap accessible, and shall not require an admission fee or sign-in. In addition, the public shall have the right to record/broadcast meetings, inspect tapes of meetings, and meetings may be video teleconferenced.

Public Hearings

A Board or Commission may determine a public hearing be held by a two-thirds majority of those members present. An exception exists for the Planning Commission which is governed by laws regarding public hearing requirements for land use issues. A public hearing is warranted if the Board or Commission determines that its deliberations concerning a matter within their designation would be substantially aided by the presentation of testimony from the citizens of the City, or a certain area of the City. Notice of such a hearing may be provided by publication in a newspaper of general circulation published in the City of Los Alamitos, by posting the same in at least three (3) public places, and mailing of a public hearing notice. Such hearings shall be conducted in accordance with the rules established for the conduct of hearings before the City Council unless the Council, by resolution, shall provide otherwise. The Planning Commission has varying notice dates due to the subject matter.

Face to Face Meetings

City Council and City-appointed advisory group meetings are considered to be face-to-face meetings. These meetings are unlawful if a quorum of the appointed members discuss City business face-to-face, in private or without proper public notification specified in the Brown Act.

Serial Meetings

A serial meeting is a meeting where a quorum of the members uses any direct communication, personal intermediaries, or technological devices to develop collective concurrence on action to be taken. Serial meetings are unlawful because there is no way to properly notice and agendize them, or to provide for any means of communication (electronic or otherwise) used for the purpose of developing collective concurrence on action to be taken.

Meeting Exceptions

1. Out-of-town meetings are not allowed except if there is not a meeting facility in the City; for compliance with law or Court Order; real or personal property inspection; meetings of multi-agency significance; meetings with state or federal officials; meetings in, and regarding, City facilities and pending litigation closed sessions, at legal counsel's office if more economical.
2. In addition, members are not restricted by the Brown Act from attending conferences, attending community meetings organized by others, attending public meetings of another body or agency and attending social or commercial occasions.
3. Emergency meetings may be called if prompt action is necessary due to disruption or threatened disruption of public facilities. This includes work stoppage or other activity or crippling disaster which severely impairs health, safety or both. In case of an emergency meeting, the 24 hour notice is not required, but the meeting is still required to be open to the public.

PROCEDURES DURING THE MEETING

Public Testimony at Meetings

Public testimony must be allowed at meetings as long as the testimony applies only to meetings and items for which action is proposed to be taken, except during oral communications. The opportunity to give public testimony must appear on meeting notices (agenda). The Commission can regulate the length of testimony.

Rules of Debate

A. Getting the Floor. Every member desiring to speak shall first address the Chair, gain recognition and shall confine him or herself to the question under debate, avoiding personalities and indecorous language.

B. Questions to Staff. Every member desiring to question the City Staff shall, after recognition by the presiding officer, address his or her questions to the City Manager, the City Clerk, or the City Attorney, who shall be entitled either to answer the inquiry or designate a member of the Staff for that purpose.

C. Interruptions. A member, once recognized, shall not be interrupted when speaking unless called to order by the presiding officer unless a point of order of business or personal privilege is raised by another member. If a member, while speaking, is called to order, he or she shall cease speaking until the question of order is determined and, if determined to be in order, he or she may proceed. Members of the City Staff after recognition by the presiding officer shall hold the floor until completion of their remarks or until recognition is withdrawn by the presiding officer.

D. Points of Order. The presiding officer shall determine all points of order subject to the right of any member to appeal to the Commission or Board. If an appeal is taken, the question shall be: "Shall the decision of the Presiding Officer be sustained?" A majority vote shall conclusively determine such question of order.

E. Point of Personal Privilege. The right of a member to address the body on a question of personal privilege shall be limited to cases in which his or her integrity, character or motives are questioned or where the welfare of the body is concerned. A member raising a point of personal privilege may interrupt another member who has the floor only if the presiding officer recognizes the privilege.

F. Limitation of Debate. No member shall be allowed to speak more than once upon any particular subject until every other member desiring to do so shall have spoken.

Remarks of Members and Synopsis of Debate

A member may request through the presiding officer the privilege of having an abstract of his or her statement on any subject under consideration by the body entered in the minutes. If the body consents, such statement shall be entered in the minutes.

Protest Against Action

Any member has the right to have the reasons for his or her dissent from, or his or her protest against any action of the body entered in the minutes. Such dissent or protest to be entered in the minutes shall be made in the following manner: "I would like the minutes to show that I am opposed to this action for the following reasons. . ."

Addressing the Boards, Commission, and Committees

A. Manner of Addressing the Boards, Commissions, and Committees. Each person desiring to address the body shall step up to the microphone in the front of the Council Chamber, state his or her name for the record, state the subject he or she wishes to discuss, state whom he or she is representing if he or she represents an organization or other persons, and, unless further time is granted by majority vote of the Body, shall limit his or her remarks to three minutes at the time an agenda item is called and five minutes during oral communications. All remarks shall be addressed to the body as a whole and not to a specific member. No question shall be asked of a member or a member of the City Staff without the permission of the presiding officer.

B. Spokesperson for Group of Persons. In order to expedite matters and to avoid repetitious presentations, whenever any group of persons wishes to address the body on the same subject matter, it shall be proper for the presiding officer to request that a spokesperson be chosen by the group to address the body and, in case additional matters are to be presented by any other member of the group, to limit the number of such persons addressing the body.

C. After Motion. After motion has been made or a public hearing has been closed, no member of the public shall address the body from the audience on the matter under consideration without first securing permission to do so by a majority vote of the body.

Rules of Decorum

A. Members. While the body is in session, the members must preserve order and decorum, and a member shall neither by conversation or otherwise delay or interrupt the proceedings or the peace of the body or disturb any member while speaking or refuse to obey the orders of the presiding officer. Members of the body shall not leave their seats during a meeting without first obtaining the permission of the presiding officer.

B. Employees. Members of the City Staff and employees shall observe the same rules of order and decorum as are applicable to the body, with the exception that

members of the City Staff may leave their seats during a meeting without first obtaining the permission of the presiding officer.

C. **Persons Addressing the Body.** Any persons making impertinent, slanderous or profane remarks or who becomes boisterous while addressing the body shall be called to order by the presiding officer and, if such conduct continues, may at the discretion of the presiding officer be ordered barred from further audience before the body during that meeting.

D. **Members of the Audience.** Any person in the audience who engages in disorderly conduct such as hand clapping, stamping of feet, whistling, using profane language, yelling and similar demonstrations, which conduct disturbs the peace and good order of the meeting, or who refuses to comply with the lawful orders of the presiding officer shall be guilty of a misdemeanor. Upon instructions from the presiding officer, it shall be the duty of the Secretary to contact the Police Department to remove any such person from the Council Chamber and to place him or her under arrest.

E. **Persons Authorized at Dais.** During a meeting no person, except members of the body and the City staff, shall be permitted on, at or within five feet of the council dais without the prior consent of the presiding officer.

Motions

A motion by any member of the body, including the presiding officer, may not be considered by the body without receiving a second.

Any vote of the body including a roll call vote, may be registered by the members by answering "yes" or "aye" for an affirmative vote or "no" or "nay" for a negative vote upon his or her name being called by the Secretary.

Any member who is disqualified from voting on a particular matter by reason of a conflict of interest shall publicly state or have the presiding officer state the nature of such disqualification in open meeting. Where no clearly disqualifying conflict of interest appears, the matter of disqualification may, at the request of the member affected, be decided by the other members. A member who is disqualified by reason of a conflict of interest in any manner shall not remain seated during the debate and vote on such matter, but shall request and be given the permission of the presiding officer to step down from the dais and leave the Council Chamber. A member stating such disqualification shall not be counted as a part of a quorum and shall be considered absent for the purpose of determining the outcome of any vote on such matter.

Every member should vote unless disqualified by reason of conflict of interest or bias/prejudice. A member who abstains from voting without a disqualifying conflict of interest or bias/prejudice thereby consents that a majority of the quorum may decide the question voted upon.

Tie votes shall be lost motions and may be reconsidered.

A member may change his or her vote prior to adjournment of meeting but not thereafter. A member who publicly announces that he or she is abstaining from voting on a particular matter shall not subsequently be allowed to withdraw the abstention.

A motion to reconsider any action taken by the body may be made only on the day such action was taken. It may be made either immediately during the same session, or at a recessed or adjourned session thereof. Such motion may be made only by one of the members who voted with the prevailing side. Nothing herein shall be construed to prevent any member from making or remaking the same or any other motion at a subsequent meeting of the body.

CABLE TELEVISION COMMISSION (*SUSPENDED)

The Commission shall have such power, authority and duties as assigned by Resolution of the City Council that may be adopted or amended by the City Council from time to time.

The City Council may, from time to time, empower the Commission:

1. To make recommendations regarding Los Alamitos community cable television programming, scheduling of programming, and broadcast standards;
2. To approve grants for community access productions;
3. To develop and recommend a promotion plan to enhance channel usage and viewership;
4. To review effectiveness of outreach efforts;
5. To create maximum interest in local events, people, places, and issues via community cable access television;
6. To provide Los Alamitos residents, businesses and organizations an opportunity to produce and participate in community television;
7. To encourage the education of Los Alamitos students in community television programming and production;
8. To assess, review and make recommendations regarding the adequacy of community access equipment and facilities.
9. To assess, review and make recommendations regarding additional possible sources of revenue to support operations.

** At the March 21, 2016, the City Council suspended Commission activities for and additional six months pending further review by the Cable Operations Manager.*

PARKS, RECREATION AND CULTURAL ARTS COMMISSION

The Commission shall have such power, authority and duties as may be assigned by resolution of the City Council, as such may be adopted or amended by the City Council from time to time.

The City Council may, from time to time, empower the Commission:

1. To act in an advisory capacity to the City Council in all matters pertaining to public recreation, parks and community services, and to cooperate with other governmental agencies and civil groups in the advancement of sound recreation and parks planning and programming;
2. To act in an advisory capacity to the City Council in all matters pertaining to fine arts and cultural affairs, including proposing programs that will develop fine arts and cultural affairs activities in the City, such as improving the local library services, sponsoring art exhibits, musical and dramatic productions and working closely with all community organizations, agencies, schools and interested individuals in developing programs and activities for the cultural enrichment of City residents;
3. To formulate policies on recreational services and cultural enrichment for approval by the City Council;
4. To advise the City Council on problems of development of recreation and fine arts areas, facilities, programs and services;
5. To assist the City Council, when necessary, in the coordination of community-wide services sponsored by other governmental agencies and voluntary organizations;
6. To make periodic appraisals of the total recreation and parks operations in the City, to make periodic appraisals of the total fine arts and cultural affairs activities in the City, and to interpret the needs of the public in this regard to the City Council.

PERSONNEL APPEALS COMMISSION

The powers and duties of the Commission shall consist of:

1. To determine the order of business for the conduct of its meetings and hearings, and to hold such meetings as may be required by the rules or on call of the Chairperson or a majority of the members of the Commission. A majority of the members of the Commission shall constitute a quorum for the transaction of business;
2. As provided by the personnel rules, to receive and hear appeals submitted by any person in the competitive service relative to any dismissal, demotion, reduction in pay or suspension without pay for forty (40) hours or more and to certify the findings and recommendations as provided in this article;
3. In any hearing conducted by the Commission, it shall have the power to examine witnesses under oath and compel their attendance or production of evidence by subpoenas issued in the name of the City and attested by the City Clerk. It shall be the duty of the Police Chief to cause all such subpoenas to be served and refusal of a person to attend or to testify in answer to such subpoena shall subject the person to prosecution in the same manner set forth below for failure to appear before the City Council in response to a subpoena issued by the City Council. Each member of the Personnel Appeals Commission shall have the power to administer oaths to witnesses;
4. Within ten days after concluding the hearing, the Personnel Appeals Commission shall affirm, revoke or modify the action taken and certify its findings and decision to the City Council, City Manager and to the affected employee. The decision of the Personnel Appeals Commission shall be final and binding upon the City and its officials;
5. Prepare rules of procedure for the conduct of appeal hearings including, but not limited to, requiring attendance of witnesses, swearing of witnesses, order and burden of proof, examination of witnesses by the parties and Commission, deliberation by the Commission and preparation of findings and conclusions.

PLANNING COMMISSION

The Planning Commission shall have the powers and duties provided by the statutes of the state of California and local ordinances.

TRAFFIC COMMISSION

The Commission shall have such power, authority and duties as may be assigned by resolution of the City Council, as such may be adopted or amended by the City Council from time to time.

The City Council may, from time to time, empower the Commission:

1. Review requests for traffic safety regulatory signs and markings and make determinations pertaining thereto;
2. Initiate special studies on any unsafe or malfunctioning traffic condition and determine solutions to such conditions;
3. Review complaints, requests or suggestions concerning traffic safety conditions;
4. Perform such other functions as the City Council may request from time to time;
5. Review speed limits, one-way street designations, speed humps/bumps, traffic signals and any other device for traffic control and make recommendations to the City Council pertaining thereto.
6. Except as specified above, the Traffic Commission is an advisory body to the City Council.

City of Los Alamitos

Planning Commission

Agenda Report Public Hearing

May 25, 2016
Item No: 7B

To: Chair Culty and Members of the Planning Commission

From: Steven A. Mendoza, Development Services Director

Subject: General Plan Amendment and Zoning Map Amendment
4411 Katella Avenue

Summary: This report recommends a General Plan Amendment and Zoning Map Amendment to the 28 acre site commonly known as Arrowhead Properties. The change would be from the current General Plan Designation (Planned Industrial with Retail Overlay) to Retail Business and amend the Zoning Map (Planned Light Industrial with Retail Overlay) to General Commercial (C-G). More specifically this property is identified as Orange County Assessor Parcel Nos. 241-241-08, 241-241-09, 241-241-10 and 241-241-11 (4411 Katella Avenue).

Recommendation:

1. Open the Public Hearing; and, if appropriate,
2. Determine that the proposed amendment has been reviewed in compliance with the provisions of the California Environmental Quality Act (CEQA). The City Council of the City of Los Alamitos, California, certified the Final Environmental Impact Report on March 23, 2015 for the Los Alamitos General Plan to include land use changes for various parcels and adopting environmental findings, a statement of overriding considerations and a mitigation monitoring and reporting plan pursuant to the California Environmental Quality Act. The changes in this ordinance are within the scope of the Program EIR which adequately describes the changes for purposes of CEQA as the changes parallel the changes made by the General Plan. As zoning is required to be consistent with the General Plan, the impacts relating to the zone changes are identical to the impacts that were covered in the Program EIR and there are no new impacts which would occur from such changes; and,
3. Planning Commission adopt Resolution No. 16-13, entitled, "A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LOS ALAMITOS, CALIFORNIA, RECOMMENDING TO THE CITY COUNCIL OF THE CITY OF LOS ALAMITOS, CALIFORNIA, ADOPT GENERAL PLAN AMENDMENT (GPA)

16-01 TO CHANGE THE LAND USE DESIGNATION FROM PLANNED INDUSTRIAL RETAIL OVERLAY ZONE (P-M ROZ) TO RETAIL BUSINESS (R-B) AND ADOPT ZONING ORDINANCE AMENDMENT (ZOA) 16-01 TO CHANGE ZONING DESIGNATIONS FROM THE PLANNED LIGHT INDUSTRIAL RETAIL OVERLAY ZONE (P-M ROZ) TO THE GENERAL COMMERCIAL (C-G) ZONE FOR PROPERTY AT 4411 KATELLA AVENUE, ASSESSOR PARCEL NOS. 241-241-08, 241-241-09, 241-241-10 AND 241-241-11 (APPLICANT: CITY OF LOS ALAMITOS)."

Applicant: City of Los Alamitos

Description: City initiated General Plan Amendment and Zoning Map Amendment

Location: The subject property is a 28-acre site is located at 4411 Katella Avenue (APN 241-241-08, 241-241-09, 241-241-10 and 241-241-11) more particularly located at northwest corner of Katella Avenue and Lexington Drive.

Notice: On May 4, 2016, Notice of Public Hearing was posted at City Hall, the Community Center, and the Los Alamitos Museum and published in the News Enterprise on May 11, 2016. Public Hearing Notices were mailed out to all property owners and tenants within 500 feet of the property.

CEQA: The proposed changes are within the scope of the Program Environmental Impact Report (PEIR) for the General Plan which was certified on March 23, 2015. The General Plan PEIR specifically looked at changing the land use designation to Retail Business and because the zoning of the City parallels the General Plan, the PEIR also covers the proposed zone change. Therefore, these changes were adequately described in the PEIR.

Background

The Los Alamitos City Council has asked the Planning Commission to consider a General Plan Amendment and a Zoning Map change to the subject property as described above. This request was formally initiated by Council Resolution No. 2016-07, adopted on March 21, 2016 (copy attached).

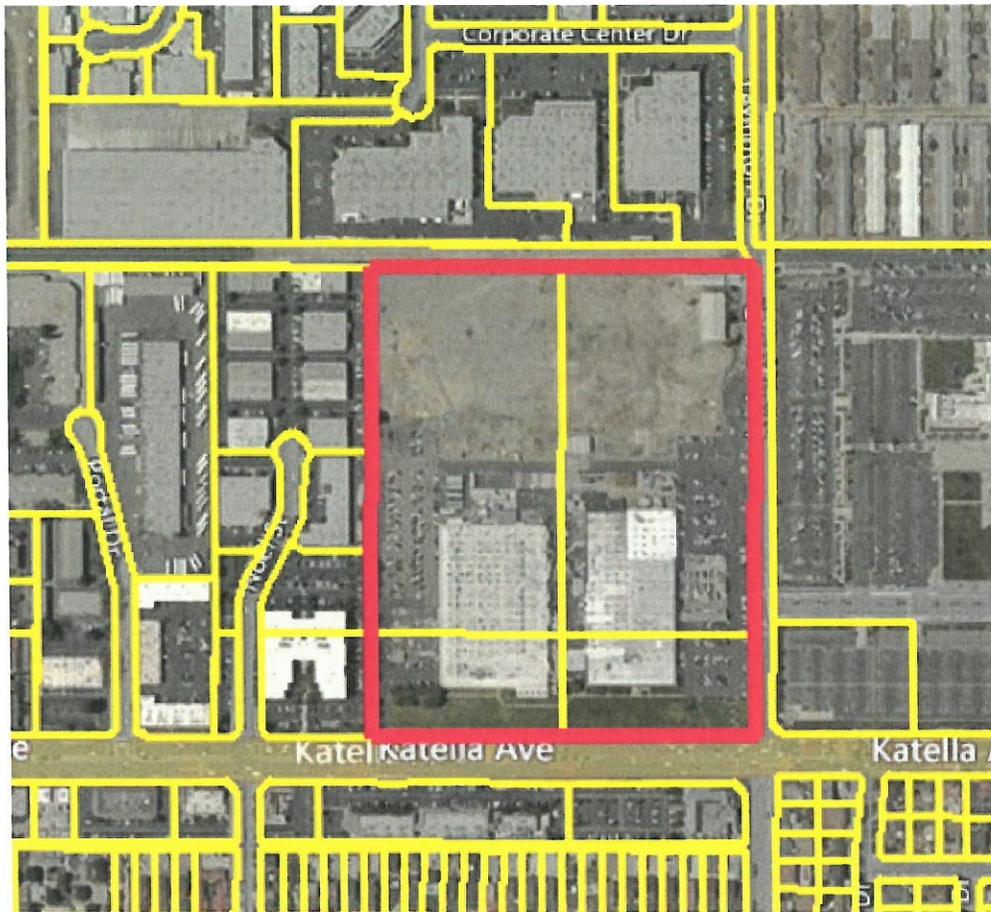
The City of Los Alamitos ("City") recently approved a Zoning Ordinance (2015-09) to create a Retail Overlay Zone, allowing more flexible uses for the Arrowhead Properties in the Planned Light Industrial Zone to comply with the 2035 General Plan. Due to recent events, it is now understood by City officials that the adoption of the Retail Overlay Zone (ROZ) designation does not preclude new development from developing under the existing Planned Light Industrial (P-M) zone permitted and conditionally permitted uses. The proposed changes would eliminate/reduce future new development of industrial areas as well as the expansion of Arrowhead's current use, and increase

land available with retail areas. These changes could be found consistent with the General Plan goals and the desires of the community.

Discussion

During the General Plan Update visioning workshops and several community outreach sessions, the community's desire and need for more retail establishments was communicated to the Council, the Planning Commission, and Staff. The Draft Land Use Map was developed to change the site from Planned Industrial to Retail Business with corresponding zoning to be Planned Light Industrial (P-M) and General Commercial (CG) respectively. The Draft Land Use Plan was solidified and studied within the Draft Environmental Impact Report and the EIR was released for circulation. As the EIR was being circulated, a letter was sent to the Commission from the Benenson Family asking that the subject property retain the Land Use designation as Planned Industrial in order to "continue our operations consistent with the General Plan."

As a compromise, the Planning Commission, and later the City Council created a new "Retail Overlay Zone" designation and amended the zoning map to place the Retail Overlay Zone over the land located at 4411 Katella Avenue (commonly known as the Arrowhead Properties). However, the underlying P-M Zone designation remained in place and allowed uses other than retail.



Project Location

The project is located at 4411 Katella Avenue near the intersection of Lexington Avenue and Katella Avenue. The property consists of 28 acres. Cottonwood Church is located to the east of the property in the City of Cypress. Industrial uses are located to the North and to the West. Commercial uses are located across Katella Avenue.

Existing Site

Arrowhead Products is an aerospace company whose facilities are situated on 28 acres; its two plants total over 250,000 square feet of working area. The company manufactures metals products such as flexible and ridged bleed ducting, flex joints, and exhaust ducts; and non-metal products such as insulation to support metals product and end item composites made from plastic, rubber, fiberglass, resins, Kevlar, etc. The facility permits the manufacture of intricate, detailed parts from raw material (sheet, rod, forge, blank, mixtures, etc.) through complex final assembly and cleaning processes. Arrowhead Products has been operating at this location for decades and generates a large number of highly skilled, highly paid jobs as the company continues to build upon its global status. Collectively, the four parcels offer 28 acres of land—larger than any other privately owned site in the City. Additionally, the site sits along Katella Avenue, a regional thoroughfare that carries upward of 60,000 vehicles per day, and is in proximity to substantial commercial development in Cypress.

General Plan Amendment (GPA 16-01)

The General Plan is the local “constitution” for development. With the authority of law, its objectives and policies are meant to carry out the community’s development goals regarding the density and distribution of future land uses. The currently adopted Los Alamitos General Plan was prepared in 2015.

Analysis

In considering this General Plan Amendment, Staff looked back at the recently adopted 2035 General Plan (approved 2015). The 2035 General Plan was drafted to change the Arrowhead Site to Retail Business as demonstrated below.

Arrowhead Products is a dynamic aerospace company whose facilities are situated on 28 acres; its two plants total over 250,000 square feet of working area. The company manufactures metals products such as flexible and ridged bleed ducting, flex joints, and exhaust ducts; and non-metal products such as insulation to support metals product and end item composites made from plastic, rubber, fiberglass, resins, Kevlar, etc. The facility permits the manufacture of intricate, detailed parts from raw material (sheet, rod, forge, blank, mixtures, etc.) through complex final assembly and cleaning processes. Arrowhead Products has been operating at this location for decades and generates a large number of highly skilled, highly paid jobs as the company continues to build upon its global status. The City supports its continued operation and success. If the company ever decides to move locations or change its business, the property could also be an ideal site for new retail development. Collectively, the four parcels offer 28 acres of land—larger than any other privately used site in the City. Additionally, the site sits along Katella Avenue, a regional thoroughfare that carries upward of 60,000 vehicles per day, and is in proximity to substantial commercial development in Cypress. To ensure that the City could understand and plan for a potential retail uses on the site, the City created and applied a Retail Overlay to the site to allow both the underlying Planned Industrial district and, at the time that the property owner determines that industrial uses are no longer desired, the introduction of new retail businesses as primary uses. Retail uses generate greater traffic impacts than manufacturing uses, and the environmental analysis evaluated the site as retail to analyze the greatest potential traffic impact.

Changing the General Plan Designation from its current designation to Retail Business would eliminate the compromise and return the designation as it was originally drafted - Retail Business. This change would further meet the following goals of the General Plan:

Applicable General Plan Implementing Goals and Policies	Consistency of Proposed Project
LAND USE ELEMENT	
Goal 2: <i>Fiscally sustainable growth and economic development through a balanced mix of land uses and development types.</i>	<u>Consistent.</u> The proposed project, which reduced the acreage of Industrial Land Uses while increase the acreage of retail land uses has the potential of creating sales tax producing shopping centers to support the fiscal sustainability of Los Alamitos which in turn provides revenue for valuable services.
Policy 2.2 <i>Mix of land uses. Maintain a balanced mix of residential, retail, employment, industrial, open space, and public facility land uses</i>	<u>Consistent.</u> The proposed project will increase the acreage of retail from 51 acres by 28 acres bringing the total to 79 acres. Additionally, the industrial area will decrease from 146 acres to 118 acres bringing the industrial area and the retail area into closer alignment.
Policy 2.3 <i>Maximize retail along Katella. Maximize community- and regional-scale retail opportunities along Katella Avenue. For parcels 10 acres or larger along Katella Avenue, support the conversion to community- and regional-scale retail.</i>	<u>Consistent.</u> The proposed project would increase the City's Retail opportunity by 28 additional acres which would facilitate a commercial shopping center larger than any other in the City.
Land Use Element	
Goal 3: <i>Commercial, office, and industrial opportunities that maintain compatibility with surrounding neighborhoods, businesses, and public facilities</i>	<u>Consistent.</u> The proposed project would increase the City's Retail opportunity by 28 additional acres which would be more compatible with the retail lands uses across Katella and further compatible with the residential areas across Katella Avenue.
Policy 3.2 <i>Economic viability. Preserve the economic viability and continuity of existing commercial and industrial businesses.</i>	<u>Consistent.</u> The proposed project, which reduces the acreage of Industrial Land Uses while increasing the acreage of retail land uses has the potential of creating sales tax producing shopping centers to support the fiscal sustainability of Los Alamitos which in turn provides revenues for valuable services.
Economic Development Element	
Goal 3: <i>Distinctive shopping and entertainment corridors and districts that attract consumer spending by residents, workers, and regional visitors.</i>	<u>Consistent.</u> The proposed project, which reduced the acreage of Industrial Land Uses while increase the acreage of retail lands uses has the potential of creating sales tax producing shopping centers to support the fiscal sustainability of Los Alamitos which in turn provides revenues for valuable services.

Zoning Ordinance Amendment (ZOA 16-01)

The City's Zoning Ordinance is Title 17 (Zoning) of the Los Alamitos Municipal Code. The Zoning Ordinance consists of two parts: text and map. The text identifies the written regulations and procedures that define how property in specific geographic zones or district can be used. Zoning ordinances specify whether zones can be used for residential or commercial purposes, and may also regulate lot size, placement, density, and the height of structures. Division 2 (Zoning Districts, Allowable Uses, and Development Regulations) of the Zoning Ordinance was comprehensively updated in 2006 and the Planning Commission has been working on updates for the past several years. The Zoning Map shows the various zoning districts in the City. The Zoning Map will show the number of districts, into which the locality is divided, and the zoning designation and usage of each district.

The City seeks a Zoning Map Amendment to change the Zoning District on the official Zoning Map. No changes are proposed to the text of the Zoning Ordinance. The existing Zoning District for the applicant's property is currently Planned Light Industrial (P-M)

with Retail Overlay Zone (ROZ). The City (as applicant) is requesting to change the property to General Commercial to ensure the compatibility with the General Plan Designation of Retail Business. According the Zoning District description under Section 17.10.010(C) (Purpose of Zoning Districts), the description of the General Commercial (C-G) R-3 Residential Zoning District is as follows:

C-G (General Commercial) Zoning District. The C-G zoning district is established to provide for the development of general commercial and highway-related uses.

As set forth above, this will make Arrowhead's current operations a legal non-conforming use. They will not have to leave, but they will not be able to expand.

Compliance with California Environmental Quality Act (CEQA)

The California Environmental Quality Act (CEQA), adopted as state law in 1970, was intended to inform citizens and decision makers about potential significant environmental impacts of projects by requiring a thorough public review of those projects within a framework of environmental concerns (air and water quality, wildlife and habitats, public health, etc.). The CEQA review is meant to identify ways that environmental damage can be avoided or significantly reduced, requiring changes in projects through the use of alternatives or mitigation measures when feasible, and disclosing to the public the reasons why a project was approved if significant environmental effects are involved.

The General Plan Environmental Impact Report (EIR) evaluated potential environmental impacts associated with conversion of the Arrowhead Products site from Planned Industrial to Retail Business. The EIR identified that build out of the Land Use Plan would generate additional vehicle trips and associated transportation, air quality, greenhouse gas emissions, and noise impacts. The EIR evaluated a range of alternatives that would reduce potential environmental impacts.

According to the EIR, at build out, the existing Planned Industrial use would generate 1,835 average daily trips while the Retail Business use would generate 11,243 average daily trips. Consequently, the existing zoning is expected to generate at least 9,000 fewer trips than the proposed Project so long as the property remains industrial. As identified in the EIR, industrial uses would have the same or slightly less environmental impacts compared to changing the use for retail business. For these reasons, the Arrowhead Products Site Alternative (i.e., leaving the industrial use with a retail overlay) was identified as the environmentally superior alternative. In addition to reduced transportation impacts, the industrial use would reduce environmental impacts relating to air quality, greenhouse gas emissions, and noise as compared to a retail use.

CEQA Guidelines section 15168(c) provides that when the City finds that a later activity (such as the contemplated actions) would not create any new effects and that no new mitigation measures would be required, the City can approve the activity as being within the scope of the Program EIR, no new environmental document is required. Because

the PEIR examined the exact scenario that is now being contemplated, these actions are within the scope of the PEIR.

Public Communications

Public Hearing Notice - A copy of the Public Hearing notice for this hearing was published in the News Enterprise on May 11, 2016 and was mailed to property owners and business tenants of properties within a 500 feet radius as required by the City's Zoning Ordinance.

Senate Bill 18 – SB 18 is a requirement to ask for consultation from Native American tribes if they so choose. Staff initiated the 90 day tribal consultation required by SB 18 on March 30, 2016. [SB 18 \(Chapter 905, Statutes of 2004\)](#) requires cities and counties to contact, and consult with California Native American tribes prior to amending or adopting any general plan. Once the Commission has provided their recommendation, the item will be presented to the City Council for a duly noticed public hearing no earlier than the 90 days required by SB 18. Staff to insert description if one comes available.

Comments from the Public – No comments have been received at Staff report deadline.

Attachments:

1. *Planning Commission Resolution No. 16-13 Recommending that City Council Approve Exhibit A City Council General Plan Amendment Resolution No. 16-TBD
Exhibit B City Council Ordinance No. 16-TBD*
2. *Resolution No. 2016-07 Resolution of Intention*

RESOLUTION NO. 16-13

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LOS ALAMITOS, CALIFORNIA, RECOMMENDING THE CITY COUNCIL OF THE CITY OF LOS ALAMITOS, CALIFORNIA, ADOPT GENERAL PLAN AMENDMENT (GPA) 16-01 TO CHANGE THE LAND USE DESIGNATION FROM PLANNED INDUSTRIAL RETAIL OVERLAY ZONE (P-M ROZ) TO RETAIL BUSINESS (R-B) AND ADOPT ZONING ORDINANCE AMENDMENT (ZOA) 16-01 TO CHANGE ZONING DESIGNATIONS FROM THE PLANNED LIGHT INDUSTRIAL RETAIL OVERLAY ZONE (P-M ROZ) TO THE GENERAL COMMERCIAL (C-G) ZONE FOR PROPERTY AT 4411 KATELLA AVENUE, ASSESSOR PARCEL NOS. 241-241-08, 241-241-09, 241-241-10 AND 241-241-11 (APPLICANT: CITY OF LOS ALAMITOS)

WHEREAS, on March 23, 2015 the City Council adopted the General Plan Update for the City of Los Alamitos; and,

WHEREAS, the draft General Plan recommended changing the land use designation for the 28-acre Arrowhead property located at 4411 Katella Avenue from Planned Industrial to Retail Business; and,

WHEREAS, during the public review process Arrowhead requested that the property not be changed to Retail Business so that its business would not be considered a nonconforming use; and,

WHEREAS, as a compromise the Planning Commission recommended and the City Council adopted a General Plan Update which designated the Arrowhead Property as Limited Industrial Retail Overlay Zone; and,

WHEREAS, zoning was subsequently adopted which matched this General Plan designation; and,

WHEREAS, prior to adopting the General Plan Update and the zone changes, the City Council adopted Resolution No. 14-31, certifying the Program EIR for the General Plan Update and making the findings and statement of overriding considerations that are required where there are significant impacts; and,

WHEREAS, the Program EIR examined the environmental impact of both changing the property to Retail Business and leaving it as industrial; and,

WHEREAS, due to recent events the effect of the Overlay designation became clear; and,

WHEREAS, on March 21, 2016, the Los Alamitos City Council adopted Resolution No. 2016-07 formally initiating the General Plan and Zoning Map Amendment in lieu of an application being filed; and,

WHEREAS, Resolution No. 2016-07 constitutes an application as required by Chapter 17.70.020 (Initiation, Applications Filing, Processing and Review) of the Los Alamitos Municipal Code; and,

WHEREAS, the adopted General Plan, is a policy document intended to facilitate decision making relative to the physical development of the City of Los Alamitos and to reflect the existing conditions, requirements, and constraints of the City; and,

WHEREAS, Government Code §65358 allows the City, when it deems it to be in the public interest, to amend all or part of the General Plan, provided that no single mandatory Element may be amended more than four times during any calendar year, except that each amendment may include more than one change to the General Plan; and,

WHEREAS, General Plan Amendment GPA 16-01 includes the following recommendations for the land use designations for the sites listed below that were determined to merit consideration for a new land use designation.

Changing from Planned Industrial Retail Overlay Zone (P-M ROZ) TO Retail Business (R-B)

Owner	Parcel Number	Address
Arrowhead/JCB	241-241-09	4411 Katella Avenue
Arrowhead/JCB	241-241-10	4411 Katella Avenue
Arrowhead/JCB	241-241-11	4411 Katella Avenue
Arrowhead/JCB	241-241-08	4411 Katella Avenue

WHEREAS, Zoning Ordinance Amendment (ZOA) 16-01 includes the following recommendations for the zoning designations for the sites listed below that were determined to merit consideration for new zoning to ensure consistency with this corresponding General Plan Amendment No. 2016-01.

Changing from Planned Light Industrial Retail Overlay Zone (P-M ROZ) to General Commercial (C-G)

Owner	Parcel Number	Address
Arrowhead/JCB	241-241-09	4411 Katella Avenue
Arrowhead/JCB	241-241-10	4411 Katella Avenue
Arrowhead/JCB	241-241-11	4411 Katella Avenue
Arrowhead/JCB	241-241-08	4411 Katella Avenue

WHEREAS, after consideration of all applicable staff reports and all information testimony, and evidence presented at the public hearing, the Planning Commission does hereby make the following findings of fact for the proposed General Plan Amendment as required by Los Alamitos Municipal Code Section 17.70.050:

A. The proposed amendments ensure and maintain internal consistency with the actions, goals, objectives, and policies of the General Plan, and would not create any inconsistencies with the Zoning Code as described as follows:

Applicable General Plan Implementing Goals and Policies	Consistency of Proposed Project
LAND USE ELEMENT	
<i>Goal 2: Fiscally sustainable growth and economic development through a balanced mix of land uses and development types.</i>	<u>Consistent.</u> The proposed project, which reduced the acreage of Industrial Land Uses while increase the acreage of retail land uses has the potential of creating sales tax producing shopping centers to support the fiscal sustainability of Los Alamitos which in turn provides revenue for valuable services.
<i>Policy 2.2 Mix of land uses. Maintain a balanced mix of residential, retail, employment, industrial, open space, and public facility land uses</i>	<u>Consistent.</u> The proposed project will increase the acreage of retail from 51 acres by 28 acres bringing the total to 79 acres. Additionally, the industrial area will decrease from 146 acres to 118 acres bringing the industrial area and the retail area into closer alignment.
<i>Policy 2.3 Maximize retail along Katella. Maximize community- and regional-scale retail opportunities along Katella Avenue. For parcels 10 acres or larger along Katella Avenue, support the conversion to community- and regional-scale retail.</i>	<u>Consistent.</u> The proposed project would increase the City's Retail opportunity by 28 additional acres which would facilitate a commercial shopping center larger than any other in the City.
Land Use Element	
<i>Goal 3: Commercial, office, and industrial opportunities that maintain compatibility with surrounding neighborhoods, businesses, and public facilities</i>	<u>Consistent.</u> The proposed project would increase the City's Retail opportunity by 28 additional acres which would be more compatible with the retail lands uses across Katella and further compatible with the residential areas across Katella Avenue.
<i>Policy 3.2 Economic viability. Preserve the economic viability and continuity of existing commercial and industrial businesses.</i>	<u>Consistent.</u> The proposed project, which reduces the acreage of Industrial Land Uses while increasing the acreage of retail land uses has the potential of creating sales tax producing shopping centers to support the fiscal sustainability of Los Alamitos which in turn provides revenues for valuable services.
Economic Development Element	
<i>Goal 3: Distinctive shopping and entertainment corridors and districts that attract consumer spending by residents, workers, and regional visitors.</i>	<u>Consistent.</u> The proposed project, which reduced the acreage of Industrial Land Uses while increase the acreage of retail lands uses has the potential of creating sales tax producing shopping centers to support the fiscal sustainability of Los Alamitos which in turn provides revenues for valuable services.

B. That the proposed General Plan Amendment will not adversely affect the public convenience, health, interest, safety, or welfare of the City of Los Alamitos as the project is consistent with the 2035 General Plan.

C. CEQA Guidelines § 15168 provides that if the City finds that there are no new effects that could occur and no new mitigation measures would be required, the City can approve a later activity as being within the scope of the project analyzed in the Program EIR. As this General Plan amendment was specifically analyzed in the Program EIR, there would not be any new effects or mitigation measures and there is no need for any additional environmental review.

NOW, THEREFORE BE IT RESOLVED the Planning Commission does hereby recommend to the City Council of the City of Los Alamitos as follows:

SECTION 1. The Planning Commission of the City of Los Alamitos, California finds that the above recitals are true and correct and are incorporated by reference herein.

SECTION 2. Based upon such findings and determinations, the Planning Commission hereby recommends approval of General Plan Amendment 16-01 and Zoning Ordinance Amendment 16-01.

SECTION 3. The Planning Commission hereby recommends the City Council of the City of Los Alamitos, California, adopt Resolution No. 2016-??, approving General Plan Amendment 16-01, attached hereto as Exhibit "A" and Zoning Ordinance Amendment No. 2016-01 attached hereto and incorporated herein by reference as Exhibit "B".

SECTION 4. The Los Alamitos Planning Commission further recommends to the City Council that the General Plan Land Use Map be revised to reflect the change in land use designations in accordance with General Plan Amendment 16-01 and the Zoning Map be amended in accordance with Zoning Ordinance Amendment 16-01.

SECTION 5. The Secretary of the Planning Commission shall certify to the adoption of this resolution and shall enter a certified copy of this resolution in the book of resolutions of the City.

PASSED, APPROVED, AND ADOPTED this 25th day of May, 2016, by the following vote:

Mary Anne Cuiilty, Chair

ATTEST:

Steven A. Mendoza, Secretary

APPROVED AS TO FORM:

Lisa Kranitz, Assistant City Attorney

STATE OF CALIFORNIA)
COUNTY OF ORANGE) ss
CITY OF LOS ALAMITOS)

I, Steven Mendoza, Planning Commission Secretary of the City of Los Alamitos, do hereby certify that the foregoing Resolution was adopted at a regular meeting of the Planning Commission held on the 25th day of May, 2016, by the following vote, to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

ATTEST:

Steven A. Mendoza, Secretary

RESOLUTION 2016-TBD

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LOS ALAMITOS, CALIFORNIA ADOPTING GENERAL PLAN AMENDMENT (GPA) 16-01 TO CHANGE THE LAND USE DESIGNATION FROM PLANNED INDUSTRIAL RETAIL OVERLAY TO RETAIL BUSINESS FOR THE PROPERTY LOCATED AT 4411 KATELLA AVENUE, ASSESSOR PARCEL NOS. 241-241-08, 241-241-09, 241-241-10 AND 241-241-11 (APPLICANT: CITY OF LOS ALAMITOS)

WHEREAS, on March 23, 2015 the City Council adopted the General Plan Update for the City of Los Alamitos; and,

WHEREAS, the draft General Plan recommended changing the land use designation for the 28-acre Arrowhead property located at 4411 Katella Avenue from Planned Industrial to Retail Business; and,

WHEREAS, during the public review process Arrowhead requested that the property not be changed to Retail Business so that its business would not be considered a nonconforming use; and,

WHEREAS, as a compromise the Planning Commission recommended and the City Council adopted a General Plan Update which designated the Arrowhead Property as Limited Industrial Retail Overlay Zone; and,

WHEREAS, zoning was subsequently adopted which matched this General Plan designation; and,

WHEREAS, prior to adopting the General Plan Update and the zone changes, the City Council adopted Resolution No. 14-31, certifying the Program EIR for the General Plan Update and making the findings and statement of overriding considerations that are required where there are significant impacts; and,

WHEREAS, the Program EIR examined the environmental impact of both changing the property to Retail Business and leaving it as industrial; and,

WHEREAS, due to recent events the effect of the Overlay designation became clear; and,

WHEREAS, the City desires to amend the General Plan Land Use Map to respond to changing conditions in the City; and,

WHEREAS, on March 21, 2016, the Los Alamitos City Council adopted Resolution No. 2016-07 formally initiating the General Plan and Zoning Map Amendment in lieu of an application being filed; and,

WHEREAS, Resolution No. 2016-07 constitutes an application as required by Chapter 17.70.020 (Initiation, Applications Filing, Processing and Review) of the Los Alamitos Municipal Code; and,

WHEREAS, the adopted General Plan, is a policy document intended to facilitate decision making relative to the physical development of the City and to reflect the existing conditions, requirements, and constraints of the City; and,

WHEREAS, Government Code § 65358 allows the City, when it deems it to be in the public interest, to amend all or part of the General Plan, provided that no single mandatory Element may be amended more than four times during any calendar year, except that each amendment may include more than one change to the General Plan; and,

WHEREAS, the Planning Commission held a duly noticed public hearing on May 25, 2016 at which time it considered all evidence presented, both written and oral; and

WHEREAS, at the conclusion of the public hearing the Planning Commission adopted Resolution No. 16-13 recommending to the City Council adoption of General Plan Amendment (GPA 16-01) to change the Land Use Designation to Retail Business; and,

WHEREAS, on June xx, 2016, the City Council held a duly noticed public hearing on the this General Plan Amendment at which time it considered all evidence presented, both written and oral.

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF LOS ALAMITOS DOES RESOLVE AS FOLLOWS:

SECTION 1. Findings.

A. The City Council of the City of Los Alamitos, California finds that the above recitals are true and correct and are incorporated by reference herein.

B. The City Council determines that the General Plan Amendment changing the land use designation of the Arrowhead Property from Planned Industrial Retail Overlay to Retail Business is in the public interest the City Council has come to the realization that allowing the property to remain with its current land use designation will foreclose the property from being developed with retail uses for decades and it is the desire of the City Council to encourage retail uses in that location.

C. The change of land use for the Arrowhead Property will ensure and maintain internal consistency with the actions, goals, objectives, and policies of the General Plan, described as follows:

Applicable General Plan Implementing Goals and Policies	Consistency of Proposed Project
LAND USE ELEMENT	
<i>Goal 2: Fiscally sustainable growth and economic development through a balanced mix of land uses and development types.</i>	<u>Consistent.</u> The proposed project, which reduced the acreage of Industrial Land Uses while increase the acreage of retail land uses has the potential of creating sales tax producing shopping centers to support the fiscal sustainability of Los Alamitos which in turn provides revenue for valuable services.
<i>Policy 2.2 Mix of land uses. Maintain a balanced mix of residential, retail, employment, industrial, open space, and public facility land uses</i>	<u>Consistent.</u> The proposed project will increase the acreage of retail from 51 acres by 28 acres bringing the total to 79 acres. Additionally, the industrial area will decrease from 146 acres to 118 acres bringing the industrial area and the retail area into closer alignment.
<i>Policy 2.3 Maximize retail along Katella. Maximize community- and regional-scale retail opportunities along Katella Avenue. For parcels 10 acres or larger along Katella Avenue, support the conversion to community- and regional-scale retail.</i>	<u>Consistent.</u> The proposed project would increase the City's Retail opportunity by 28 additional acres which would facilitate a commercial shopping center larger than any other in the City.
Land Use Element	
<i>Goal 3: Commercial, office, and industrial opportunities that maintain compatibility with surrounding neighborhoods, businesses, and public facilities</i>	<u>Consistent.</u> The proposed project would increase the City's Retail opportunity by 28 additional acres which would be more compatible with the retail lands uses across Katella and further compatible with the residential areas across Katella Avenue.
<i>Policy 3.2 Economic viability. Preserve the economic viability and continuity of existing commercial and industrial businesses.</i>	<u>Consistent.</u> The proposed project, which reduces the acreage of Industrial Land Uses while increasing the acreage of retail land uses has the potential of creating sales tax producing shopping centers to support the fiscal sustainability of Los Alamitos which in turn provides revenues for valuable services.
Economic Development Element	
<i>Goal 3: Distinctive shopping and entertainment corridors and districts that attract consumer spending by residents, workers, and regional visitors.</i>	<u>Consistent.</u> The proposed project, which reduced the acreage of Industrial Land Uses while increase the acreage of retail lands uses has the potential of creating sales tax producing shopping centers to support the fiscal sustainability of Los Alamitos which in turn provides revenues for valuable services.

D. CEQA Guidelines § 15168 provides that if the City finds that there are no new effects that could occur and no new mitigation measures would be required, the City can approve a later activity as being within the scope of the project analyzed in the Program EIR. As this General Plan amendment was specifically analyzed in the Program EIR, there would not be any new effects or mitigation measures and there is no need for any additional environmental review.

SECTION 2. Based on the 2035 General Plan Update, public comments and the entire record before the City Council, the City Council hereby approves the General Plan Amendment changing the land use designation on the following properties from Planned Industrial Retail Overlay to Retail Business.

Arrowhead Products Changing from Planned Industrial Retail Overlay to Retail Business

Owner	Parcel Number	Address
Arrowhead/JCB	241-241-09	4411 Katella Avenue

Arrowhead/JCB	241-241-10	4411 Katella Avenue
Arrowhead/JCB	241-241-11	4411 Katella Avenue
Arrowhead/JCB	241-241-08	4411 Katella Avenue

SECTION 3. The City Council finds that all available documentation is available within the Development Services Department at the City of Los Alamitos, 3191 Katella Avenue, Los Alamitos, CA 90720. The custodian of records is the Development Services Director.

SECTION 4. This Resolution shall take effect on the thirty-first day after passage.

PASSED, APPROVED, AND ADOPTED this ____ day of June, 2016.

Richard D. Murphy, Mayor

ATTEST:

Windmera Quintanar, CMC, City Clerk

APPROVED AS TO FORM:

Cary S. Reisman, City Attorney

STATE OF CALIFORNIA)

COUNTY OF ORANGE) ss

CITY OF LOS ALAMITOS)

I, Windmera Quintanar, CMC, City Clerk, of the City of Los Alamitos, do hereby certify that the foregoing Resolution was adopted at a regular meeting of the City Council held on the TBD, by the following vote, to wit:

AYES: COUNCILMEMBERS:

NOES: COUNCILMEMBERS:

ABSENT: COUNCILMEMBERS:

ABSTAIN: COUNCILMEMBERS:

Windmera Quintanar, CMC, City Clerk

ORDINANCE 16-TBD

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF LOS ALAMITOS ADOPTING ZONING ORDINANCE AMENDMENT 16-01 CHANGING THE ZONING DESIGNATIONS FROM PLANNED LIGHT INDUSTRIAL RETAIL OVERLAY (P-M ROZ), TO GENERAL COMMERCIAL (C-G) FOR PROPERTY LOCATED AT 4411-KATELLA AVENUE, ASSESSOR PARCEL NOS. 241-241-08, 241-241-09, 241-241-10 AND 241-241-11 (APPLICANT: CITY OF LOS ALAMITOS).

WHEREAS, on March 23, 2015 the City Council adopted the General Plan Update for the City of Los Alamitos; and,

WHEREAS, the draft General Plan recommended changing the land use designation for the 28-acre Arrowhead property located at 4411 Katella Avenue from Planned Industrial to Retail Business; and,

WHEREAS, during the public review process Arrowhead requested that the property not be changed to Retail Business so that its business would not be considered a nonconforming use; and,

WHEREAS, as a compromise the Planning Commission recommended and the City Council adopted a General Plan Update which designated the Arrowhead Property as Limited Industrial Retail Overlay Zone; and,

WHEREAS, on November 16, 2015, the City Council adopted Ordinance No. 2015-09 which zoned the property Planned Industrial Retail Overlay Zone to match the General Plan designation; and,

WHEREAS, prior to adopting the General Plan Update and the zone changes, the City Council adopted Resolution No. 14-31, certifying the Program EIR for the General Plan Update and making the findings and statement of overriding considerations that are required where there are significant impacts; and,

WHEREAS, the Program EIR examined the environmental impact of both changing the property to Retail Business and leaving it as industrial and by virtue of the fact that the zoning in Los Alamitos has a one to one correspondence with the General Plan land use designation, it was determined that the Program EIR covered the zoning and no further environmental review was required; and

WHEREAS, due to recent events the effect of the Overlay Zone became clear; and,

WHEREAS, the City desires to change the zoning of the Arrowhead property to respond to changing conditions in the City; and,

WHEREAS, on March 21, 2016, the Los Alamitos City Council adopted Resolution No 2016-07 formally initiating the General Plan and Zoning Map Amendment in lieu of an application being filed; and,

WHEREAS, Resolution No. 2016-07 constitutes an application as required by Chapter 17.70.020 (Initiation, Applications Filing, Processing and Review) of the Los Alamitos Municipal Code; and,

WHEREAS, The City of Los Alamitos Adopted the 2035 General Plan on March 23, 2015 through Resolution No. 2015-06; and,

WHEREAS, prior to adopting this Ordinance the City Council adopted Resolution No. _____, changing the land use designation of the Arrowhead property from Planned Industrial Retail Overlay to Retail Business; and,

WHEREAS, zoning is required to be consistent with the General Plan; and,

WHEREAS, the Planning Commission held a duly noticed public hearing on May 25, 2016 at which time it considered all evidence presented, both written and oral; and,

WHEREAS, at the conclusion of the public hearing the Planning Commission adopted Resolution No. 16-13 recommending to the City Council adoption of Zone Change 16-01 to change the zoning of the Arrowhead property from Planned Light Industrial Retail Overlay (PM ROZ) to General Commercial (GC); and,

WHEREAS, on June xx, 2016, the City Council held a duly noticed public hearing on the 2014 General Plan at which time it considered all evidence presented, both written and oral.

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF LOS ALAMITOS DOES ORDAIN AS FOLLOWS:

SECTION 1. Findings.

A. The City Council of the City of Los Alamitos, California finds that the above recitals are true and correct and are incorporated by reference herein.

B The proposed amendments ensure and maintain internal consistency with the actions, goals, objectives, and policies of the General Plan, and would not create any inconsistencies with the Zoning Code as described, follows:

Applicable General Plan Implementing Goals and Policies	Consistency of Proposed Project
LAND USE ELEMENT	
<i>Goal 2: Fiscally sustainable growth and economic development through a balanced mix of land uses and development types.</i>	<u>Consistent.</u> The proposed project, which reduced the acreage of Industrial Land Uses while increase the acreage of retail land uses has the potential of creating sales tax producing shopping centers to support the fiscal sustainability of Los Alamitos which in turn provides revenue for valuable services.
<i>Policy 2.2 Mix of land uses. Maintain a balanced mix of residential, retail, employment, industrial, open space, and public facility land uses</i>	<u>Consistent.</u> The proposed project will increase the acreage of retail from 51 acres by 28 acres bringing the total to 79 acres. Additionally, the industrial area will decrease from 146 acres to 118 acres bringing the industrial area and the retail area into closer alignment.
<i>Policy 2.3 Maximize retail along Katella. Maximize community- and regional-scale retail opportunities along Katella Avenue. For parcels 10 acres or larger along Katella Avenue, support the conversion to community- and regional-scale retail.</i>	<u>Consistent.</u> The proposed project would increase the City's Retail opportunity by 28 additional acres which would facilitate a commercial shopping center larger than any other in the City.
Land Use Element	
<i>Goal 3: Commercial, office, and industrial opportunities that maintain compatibility with surrounding neighborhoods, businesses, and public facilities</i>	<u>Consistent.</u> The proposed project would increase the City's Retail opportunity by 28 additional acres which would be more compatible with the retail lands uses across Katella and further compatible with the residential areas across Katella Avenue.
<i>Policy 3.2 Economic viability. Preserve the economic viability and continuity of existing commercial and industrial businesses.</i>	<u>Consistent.</u> The proposed project, which reduces the acreage of Industrial Land Uses while increasing the acreage of retail land uses has the potential of creating sales tax producing shopping centers to support the fiscal sustainability of Los Alamitos which in turn provides revenues for valuable services.
Economic Development Element	
<i>Goal 3: Distinctive shopping and entertainment corridors and districts that attract consumer spending by residents, workers, and regional visitors.</i>	<u>Consistent.</u> The proposed project, which reduced the acreage of Industrial Land Uses while increase the acreage of retail lands uses has the potential of creating sales tax producing shopping centers to support the fiscal sustainability of Los Alamitos which in turn provides revenues for valuable services.

C. That the proposed Ordinance is in the public interest and represents good land use practice because Los Alamitos City Council has come to the realization that allowing the property to remain with its current land use designation will foreclose the property from being developed with retail uses for decades and it is the desire of the City Council to encourage retail uses in that location.

D. The 28 acres of property are physically suitable (including access, provision of utilities, compatibility with adjoining land uses, and absence of physical constraints) for the requested zoning designation and anticipated land use development. The proposed development would be located within an established site in an urbanized area, consistent with the existing on-site and surrounding established land use patterns. No expansion beyond the existing property boundaries would occur with the proposed project. The development review process would ensure that the proposed project would be consistent with the applicable zoning standards and other standards set forth by Zoning Code.

E. CEQA Guidelines § 15168 provides that if the City finds that there are no new effects that could occur and no new mitigation measures would be required, the City can approve a later activity as being within the scope of the project analyzed in the Program EIR. As this zoning ordinance directly parallels the General Plan amendment which was specifically analyzed in the Program EIR, there would not be any new effects or mitigation measures and there is no need for any additional environmental review.

SECTION 2. The City Council hereby adopts Ordinance No. 16-TBD approving Zoning Ordinance Amendment 16-01 which changes the zoning designation for parcels 241-241-08, 09, 10 & 11 from Planned Light Industrial Retail Overlay Zone (P-M ROZ) to General Commercial (C-G) and making the changes on the Zoning Map of the City.

SECTION 3. If any section, subsection, subdivision, sentence, clause, phrase, or portion of the Ordinance for any reason is held to be invalid or unconstitutional by the decision of any court of competent jurisdiction, such decision shall not affect the validity of the remaining portions of this Chapter. The City Council hereby declares that it would have adopted the Chapter, and each section, subsection, subdivision, sentence, clause, phrase, or portion thereof, irrespective of the fact that any one or more sections, subsections, subdivisions, sentences, clauses, phrases, or portions thereof be declared invalid or unconstitutional.

SECTION 4. The City Clerk shall certify as to the adoption of this Ordinance and shall cause a summary thereof to be published within fifteen (15) days of the adoption and shall post a certified copy of this Ordinance, including the vote for and against the same, in the Office of the City Clerk, in accordance with Government Code 36933.

SECTION 5. This Ordinance shall become effective on the 31st day after passage.

PASSED, APPROVED AND ADOPTED this ___th day of _____, 2016.

Richard D. Murphy, Mayor

ATTEST:

Windmera Quintanar, City Clerk, CMC

APPROVED AS TO FORM:

Cary S. Reisman, City Attorney

STATE OF CALIFORNIA)
COUNTY OF ORANGE) ss.
CITY OF LOS ALAMITOS)

I, Windmera Quintanar, City Clerk of the City of Los Alamitos, do hereby certify that the foregoing Ordinance No. 2016-04 was duly introduced and placed upon its first reading at a regular meeting of the City Council on the ____ day of _____, 2016, and that thereafter, said Ordinance was duly adopted and passed at a regular meeting of the City Council on the ____ day of _____, 2016, by the following vote, to wit:

AYES: COUNCIL MEMBERS:

NOES: COUNCIL MEMBERS:

ABSENT: COUNCIL MEMBERS:

ABSTAIN: COUNCIL MEMBERS:

Windmera Quintanar, City Clerk, CMC

RESOLUTION NO. 2016-07

A RESOLUTION OF INTENTION OF THE CITY COUNCIL OF THE CITY OF LOS ALAMITOS, CALIFORNIA, TO DIRECT THE PLANNING COMMISSION TO INITIATE A GENERAL PLAN AMENDMENT AND ZONING MAP AMENDMENT FOR ORANGE COUNTY ASSESSOR PARCEL NOS. 242-212-08, 242-241-09, 242-212-10 AND 242-212-11 GENERALLY DESCRIBED AS ARROWHEAD PROPERTIES (4411 KATELLA AVENUE) AND MAKE A GENERAL PLAN AMENDMENT AND ZONING MAP AMENDMENT RECOMMENDATION TO THE CITY COUNCIL

WHEREAS, the City Council is interested in amending the General Plan Designation for parcels listed below from Planned Industrial with a Retail Overlay to Retail Business; and,

General Plan Amendment		
From Planned Industrial with Retail Overlay to Retail Business		
APN	ADDRESS	OWNER
242-241-08	4411 Katella Avenue	JCB Inc Tincum Corp
242-212-09	4411 Katella Avenue	JCB Inc Tincum Corp
242-212-10	4411 Katella Avenue	JCB Inc Tincum Corp
242-212-11	4411 Katella Avenue	JCB Inc Tincum Corp

WHEREAS, the City Council is interested in amending the Zoning Map Designation for parcels listed below from Planned Light Industrial (P.M.) with a Retail Overlay to General Commercial (C.G.); and,

Zoning Map Amendment		
From Planned Light Industrial (P.M.) with Retail Overlay to General Commercial (C.G.)		
APN	ADDRESS	OWNER
242-241-08	4411 Katella Avenue	JCB Inc Tincum Corp
242-212-09	4411 Katella Avenue	JCB Inc Tincum Corp
242-212-10	4411 Katella Avenue	JCB Inc Tincum Corp
242-212-11	4411 Katella Avenue	JCB Inc Tincum Corp

WHEREAS, Los Alamitos Municipal Code Section 17.70.020 requires that the City Council begin this process through adopting a Resolution of Intention; and,

WHEREAS, the City Council considered this item on March 21, 2016.

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF LOS ALAMITOS, CALIFORNIA, DOES HEREBY RESOLVE AS FOLLOWS:

SECTION 1. The City Council of the City of Los Alamitos, California finds that the above recitals are true and correct.

SECTION 2. The City Council resolves to initiate consideration of a City-initiated General Plan Amendment and Zoning Map Amendments to parcels listed in the table

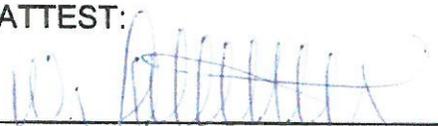
above and direct the Planning Commission to begin conducting public hearings to consider revising the General Plan and Zoning Map to implement such changes.

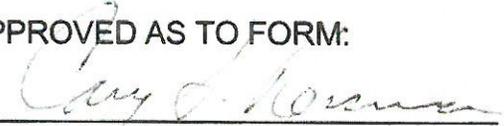
SECTION 3. It is also recommended that the Commission and Staff incorporate a benchmark into the General Plan for the development of percentages of residential, retail, office, open space and industrial spaces as a goal of how we want to look to help us decide on future development (ie Residential at a certain percentage, Industrial at a certain percentage and Retail at a certain percentage).

SECTION 4. The City Clerk shall certify as to the adoption of this Resolution.

PASSED, APPROVED, AND ADOPTED this 21st day of March, 2016.


Richard D. Murphy, Mayor

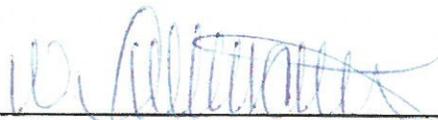
ATTEST:

Windmera Quintanar, CMC, City Clerk

APPROVED AS TO FORM:

Cary S. Reisman, City Attorney

STATE OF CALIFORNIA)
COUNTY OF ORANGE) ss
CITY OF LOS ALAMITOS)

I, Windmera Quintanar, CMC, City Clerk of the City of Los Alamitos, do hereby certify that the foregoing Resolution No 2016-07, was adopted at a regular meeting of the City Council on the 21st day of March, 2016, pursuant to Government Code Section 36937 (b), by the following roll-call vote, to wit:

AYES: COUNCILMEMBERS: Hasselbrink, Kusumoto, Murphy
NOES: COUNCILMEMBERS: Edgar
ABSENT: COUNCILMEMBERS: None
ABSTAIN: COUNCILMEMBERS: Grose


Windmera Quintanar, CMC, City Clerk

City of Los Alamitos

Planning Commission

Agenda Report Public Hearing

May 25, 2016
Item No: 7A

To: Chair Cuiilty and Members of the Planning Commission

Via: Steven A. Mendoza, Development Services Director

From: Tom Oliver, Associate Planner

Subject: Site Plan Review (SPR) 16-02
Conditional Use Permit (CUP) 16-04
Conditional Use Permit (CUP) 16-05
Marriott Fairfield Inn Hotel

Summary: This is a request for Site Plan Review and Conditional Use Permits (2) to develop a 61,643 sq. ft. Fairfield Inn & Suites Hotel at 10650 Los Alamitos Boulevard (APN 242-243-03) on a 2.3 acre vacant parcel in the General Commercial (C-G) Zoning District. (Applicant: Shamir Narsai – Triple Sons Investments, LLC).

Recommendation:

1. Open the Public Hearing; and, if appropriate,
2. Determine that the proposed use is exempt from the provisions of the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15332 *In-Fill Development Projects*; and,
3. Adopt Resolution No. 16-11, entitled, "A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LOS ALAMITOS, CALIFORNIA, APPROVING SITE PLAN REVIEW (SPR) 16-02 TO ALLOW CONSTRUCTION OF A FOUR-STORY 61,643 SQUARE FOOT HOTEL AT 10650 LOS ALAMITOS BOULEVARD, IN THE GENERAL COMMERCIAL (C-G) ZONING DISTRICT, APN 242-243-03, AND DIRECTING A NOTICE OF EXEMPTION BE FILED FOR A CATEGORICAL EXEMPTION FROM CEQA (APPLICANT: SHAMIR NARSAI – TRIPLE SONS INVESTMENTS, LLC)."
4. Adopt Resolution No. 16-12, entitled, "A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LOS ALAMITOS, CALIFORNIA, APPROVING CONDITIONAL USE PERMITS (CUP) 16-04 & 16-05 TO ALLOW CONSTRUCTION OF A FOUR-STORY 61,643 SQUARE FOOT HOTEL WITH INCREASED

BUILDING HEIGHT AT 10650 LOS ALAMITOS BOULEVARD, IN THE GENERAL COMMERCIAL (C-G) ZONING DISTRICT, APN 242-243-03, AND DIRECTING A NOTICE OF EXEMPTION BE FILED FOR A CATEGORICAL EXEMPTION FROM CEQA (APPLICANT: SHAMIR NARSAI – TRIPLE SONS INVESTMENTS, LLC).” ; or alternatively,

5. The Commission can continue the Public Hearing providing the applicant time to revise plans as directed by the Commission.

Applicant/Owner: Applicant: Shamir Narsai – Triple Sons Investments, LLC
Owner: Pradip Patel, Sukima Hospitality Group, LLC

Project Location: 10650 Los Alamitos Boulevard (APN 242-243-03)

Notice: On April 13, 2016, a Notice of Public Hearing was posted at City Hall, the Community Center, and the Los Alamitos Museum and at the Site. It was also published in the News Enterprise on May 11, 2016 and public notices were mailed out to all property owners and tenants within 500 feet of the property on April 27, 2016.

Environmental: Staff has determined that the Project is categorically exempt from CEQA pursuant to Section 15332 (Infill Development) as described in more detail in this report.

Background

The Applicant has submitted for consideration an application for development of a 61,643 sq. ft., 108 room, Marriott Fairfield Inn & Suites Hotel to be located on a 2.3 acre vacant site at 10650 Los Alamitos Boulevard. The proposed hotel will include a porte-cochere entryway, one board room, two conference rooms (with partition), breakfast service area, gym, a small food market, and a pool. All parking will be at grade. The proposed hotel compliments this area of Los Alamitos and has the potential to bring business travelers and tourists whom will shop, dine and spend nearby. The Applicant has fashioned a development that reflects the vision of an attractive and pedestrian-friendly town center that serves as the heart of the community. Further, this development promotes a unique town center around Los Alamitos Boulevard. This development invests in public improvements to transform a vacant underutilized lot into an attractive economic engine. The development of a hotel adds to the diverse businesses and activities and will attract a variety of shopping, dining, and entertainment options for residents and visitors. Further, a quality hotel will encourage the creation of daytime, nighttime, and weekend activity. A quality hotel can increase the City's fiscal sustainability and economic development by diversifying the City's tax base.

Discussion

Project Location

The property consists of a 2.3 acre (100,188 sq. ft.) parcel in the Old Town East neighborhood of the City with no existing structures occupying it. The site has previously been used as an auto dealership and has been vacant for decades. The surrounding uses are described in Table 1 below.

Table 1 Surrounding Zoning and Uses			
Location		Zoning District	Uses
Project Site	Existing	General Commercial (C-G)	Vacant
	Proposed	General Commercial (C-G)	Hotel
North		General Commercial (C-G) Planned Light Industrial (P-M)	Commercial Building Gemini Forest Products
East		Planned Light Industrial (P-M)	Industrial Buildings
West		General Commercial (C-G)	Arbor Shops
South		General Commercial (C-G) Planned Light Industrial (P-M)	Center Plaza/Millie Severson

Dedications

Through Condition No. 36, the Applicant is required to dedicate ten (10) feet from the Northern property line to the right of way on Briggeman Street to straighten the intersection on Los Alamitos Boulevard between Sausalito Sand Briggeman Streets. The dedication is required to create safer turns for trucks, safety for cars searching for the correct lanes, and to match the area already dedicated to be widened on the properties to the East of this parcel on Briggeman Street. The developer will be responsible for the cost to widen the street including curb, gutter and sidewalk installation.



Application and Review Process

The Applicant has filed a discretionary application on February 8, 2016 requesting the following entitlements for this hotel project:

- Site Plan Review (SPR 16-02)
- Conditional Use Permit (CUP 16-04) for a hotel land use
- Conditional Use Permit (CUP 16-05) for the height of the building

The remainder of this report is divided into an analysis of the various applications.

SITE PLAN REVIEW

Analysis of Site Plan Review 16-2

This project is presented as a commercial site development which requires this Site Plan Review (SPR). A large site plan is provided with this report as an exhibit of the approving resolution. The proposed project would be located in the C-G (General Commercial) Zoning District. The C-G zoning district identifies areas designed to provide General Commercial and highway-related uses. Among the types of development allowed in the district are restaurants, retail sales, and markets. The maximum floor area ratio (FAR) allowed is up to 1.0. The C-G zoning district is consistent with the “Retail Business” land use designation of the General Plan. Table 2 below identifies the development features that are required under Section 17.10.030 Table 2-05 (Commercial/Industrial Zoning Districts General Development Standards).

Table 2 C-G General Commercial Development Standards			
	Required	Proposed Project	Requirement Met
Parcel Area	6,000 sq. ft.	96,155 sq. ft.	Yes
Parcel Width	60 ft.	201 ft. at thinnest 310 ft. at widest (North 10 ft. will be dedicated to City for Briggeman widening)	Yes
Parcel Depth	100 ft.	416 ft. at longest, 104 ft. at shortest	Yes
Parcel Coverage	90% Max FAR 1.0	15.7% (hotel) FAR .615	Yes
Maximum Height Limit – Main Structures	3 Stories or 40 ft. (2)	4 stories, 44’9” (hotel), plus parapet tower of 9’9”	Yes, with approval of CUP
Landscaping	15% + additional 10% open space when height exceeds 40 feet + 20 sf for each parking space	Project exceeds the 15% landscaping requirements and has more than the 10% additional open space amount to meet the requirement for the height CUP.	Yes
Distance from Residential Zone	At least 100 feet when height exceeds 40 feet	The site is 270 feet from nearest residential property.	Yes
Setbacks:			

Table 2			
C-G General Commercial Development Standards			
	Required	Proposed Project	Requirement Met
Front	Not required unless abutting a residential zoning district, then 15 ft.	Not required	Yes
Side	None required.	Not required	Yes
Rear	Not required unless abutting a residential zoning district, then 15 ft.	Not required	Yes

- (2) *An additional 20 feet, for a maximum height of five stories (not to exceed 60 feet), may be allowed upon approval of a CUP. Factors to be considered by the Commission:*
- a. *A structure with increased height shall be located at least 100 feet from a residential zoning district.*
 - b. *The Commission may require that vision into adjacent residences be limited from a structure with increased height.*
 - c. *Open space shall constitute 10 percent of the total site area, in addition to the 10 percent required to be landscaped.*
 - d. *The structure shall have no more gross floor area than could have been achieved if the structure were 40 feet or less in height. In computation of gross floor area, floor area devoted to parking shall be disregarded.*

In addition to the requirements set forth above, there are specific requirements that are set forth elsewhere in the Los Alamitos Municipal Code such as parking, landscaping and lighting as described below.

Parking & Circulation - The requirements in the General Commercial (C-G) Zoning District require 1 (one) space for each guestroom in a hotel. The site plan provides for 108 parking spaces of a required 108 spaces. Access points to the site are located as far as possible from street intersections. Vehicular access will be provided through three driveway curb cuts (aprons); one on the North property line (Briggeman Street) and two on the South (Serpentine Street), and none on Los Alamitos Boulevard. The drive aisles are more than adequate for vehicular movement. The Applicant is being required to dedicate 10 feet on Briggeman Street to realign the intersection with the west side of Los Alamitos which will improve the intersection.

Landscaping - LAMC section 17.20.030 (Landscaping) speaks to landscaping requirements that each land use, except single-family shall provide, and maintain fifteen percent (15%) of the site in landscaped areas. Additionally, in accordance with 17.26.080 each off-street parking area shall provide an area, or areas, landscaped equivalent to twenty (20) square feet for each parking space. Landscaping shall be provided along the periphery of the parking area and shall consist of trees and plant material. At least one minimum fifteen (15) gallon tree shall be provided for every five parking spaces. In addition, one fifteen (15) gallon tree minimum shall be provided in the interior portions of the parking area for each one thousand five hundred (1,500) square feet of parking area. The attached site plan demonstrates 19.3% (19,379 square feet). This project will be required to comply with Chapter 13.05 "Water Efficient Landscaping," and Chapter 13.04 "Water Conservation," of the Los Alamitos Municipal Code. The

arbors and park benches shown on the site plan have been conditioned to be placed, and in the same number, where they are shown but do not encourage pedestrian traffic from the hotel. Staff has discussed this with the Applicant who feels that the layout is sufficient to draw hotel guests from the front door of the hotel to Los Alamitos Boulevard.

Lighting - The building will include exterior light fixtures located on all four sides of the structures. These lights have been conditioned by Staff in the resolution to direct light only on the subject property.

Conclusion on Site Plan Review 16-2

Staff has reviewed the proposed project and application materials and finds that the proposed project design and layout meet the minimum standards of the C-G zoning district, including Section 17.10.030 (Property Development Standards), Section 17.16.040 (Architectural Design), and Chapter 17.20 (Landscaping) and that all of the findings can be made as set forth in the attached resolution.

CUPs

Analysis of CUPs 16-04 & 16-05

The Applicant requests two CUPs (1) Permitting a hotel, and (2) increased height within General Commercial (C-G) Zoning District as required by Sections 17.10.020, 17.10.030 and 17.26.050 of the LAMC. The two CUPs have been combined into one resolution. There are many benefits to the addition of a hotel and in particular a four-story hotel in this location of the City. Some, but not all, of those benefits are noted below:

- Increased property tax with the improvement of the property
- Increase in Transient Occupancy Tax (TOT)
- Elimination of a blighted property (surrounded by an old broken fence with torn screening, etc...)
- New customers for surrounding businesses
- Construction jobs during building phase
- Straightening of the intersection between Sausalito and Briggeman Streets, including a 10 foot dedication to the City
- Improved image of Los Alamitos as a destination

In addition to the regular CUP findings, Code Section 17.10.030 requires the following factors to be considered by the Commission for additional height. The following are located within Resolution No. 12 and reflected below to demonstrate how Staff came to the conclusion:

- a. A structure with increased height shall be located at least 100 feet from a residential zoning district – This project is 265 feet from the nearest residence.

- b. The Commission may require that vision into adjacent residences be limited from a structure with increased height – This is not an issue under any circumstance given the distance to the nearest residence.
- c. Open space shall constitute 10 percent of the total site area, in addition to the 15 percent required to be landscaped - Open space excluding building footprint & parking is 26,379 square feet which brings the total open space to 26%.
- d. The structure shall have no more gross floor area than could have been achieved if the structure were 40 feet or less in height. A four-story hotel at 40 feet would have the same gross floor area as this proposed project at approximately 45 feet. The subject property is designated Retail Business on the City's Land Use Policy Map and is further compatible with the adjacent industrial and commercial uses and will further be constructed in a manner to insulate various noises that could occur. Further, the use will serve the area medical community and provide a customer base for area shops and restaurant. The project does not exceed the maximum FAR in the land use category is 1.0 and the project has an FAR of .615.

Conclusions of CUP 16-04 & 16-05

Staff believes the proposed Conditional Use Permit meets the requirements established within the Codes and recommends the adoption of Resolution No. 12 which addresses necessary findings.

Architecture

The proposed site design places the building in such a way to both fit the site and to present an interesting view of the building from Los Alamitos Boulevard, although set back from Los Alamitos Boulevard. The landscape design creates two small pedestrian spaces at the corners which give a slight sense of pedestrian interest to the Boulevard.

The proposed architectural style displays a few elements of typical postmodern architecture, and adds a sweeping design to the port cochere. There is a flat roof with a trellis-type of structure floating from a parapet above the central section to add an interesting architectural detail to what could be a fairly straight line. The flat planes are broken up to increase interest, and stone elements are added to one off-center plane to further break up the similarity of the large expanses of stucco. Screed lines in the stucco break up these expanses as well, and protect from cracks in the event of earthquake movement. The colors are selected to further enhance the back and forward movement of the surface planes. The picture of a hotel on the front of the brochure shows a version of this building that has more architectural interest than what is being presented here tonight. There is wood on the underside of the port cochere, and more paint colors to break up the stucco.

Staff has met with the Applicant on February 8, 2016 and March 9, 2016 to seek improved architectural design into the building. Further, the Applicant met with the Commission Chair on April 12, 2016 to further discuss the proposed architecture. After

three meetings with the developer, the developer has not provided any architectural revisions.

The concern with the site is the same as the concern expressed during the 2015 public hearing with the previous developer. Staff has sought improved architecture from the Applicant to no avail. We sought more architectural detail to the building, and even proposed alternate architectural styles that have been created at other Fairfield Inn locations. The Applicant insists that this is the corporate style that Marriott requires on all new Hotels. Staff noticed that with many hotels of this style, there are variations throughout the United States. As proposed, the building's primary architectural feature is stucco.

Staff has been in contact with other architects regarding franchise architecture. The architect shared that he works closely with other cities to adjust to local design standards, architectural standards, etc... as every city will expect a development to blend into the surroundings and to be compatible with neighboring buildings. In the opinion of this one architect, Marriott's corporate strategy is a prototype to begin with, not to end with.

This building is modern in style, which steers well away from the early California architecture that is displayed in many buildings in Los Alamitos. The Planning Commission has felt comfortable in past decisions to let modern types of architecture be introduced in the City.

General Plan Consistency

As fully described within Resolution No. 11 the project, as conditioned, will:

- set a trend for a pedestrian-friendly downtown, such as that suggested in the Corridors project. The streetscape is inviting with its gazebos, benches, and enhanced flatwork.
- add pedestrian-friendly features and will attract people who will help support other businesses that will make up a unique town center.
- create a pedestrian-friendly environment with trellis and benches. Additionally, the project will dedicate right-of-way and realign the Biggeman/Los Alamitos intersection to create a more pedestrian-friendly environment.
- set a high bar for quality, commercial structures in the City. The layout creates a welcoming environment for people to walk in, walk out, and walk along the borders of the project. The project will place visitors in the downtown area to frequent surrounding businesses.
- pay hotel occupancy tax to the City which creates income for the City that is above and beyond ordinary sales tax.

California Environmental Quality Act (CEQA) Compliance

The City's CEQA Consultant has found that the development of the proposed project by the Applicant complies with the requirements prescribed in Section 15332 of the CEQA Guidelines for "in-fill" development. Specifically, the proposed project is: (1) consistent with the land use and zoning adopted for the site; (2) located within the City of Los Alamitos; (3) surrounded by development on all sides of the property; (4) less than five acres in size; (5) has no value as habitat for endangered and/or sensitive species; (6) will not result in significant noise, traffic, air quality or water quality impacts; and (7) can be served by the existing public services and utilities as discussed below. The Notice of Exemption has been included in this packet.

Recommendation

Although Staff is recommending approval of the project as conditioned, the Commission could continue this item and direct the Architect to add more architectural interest to the proposal and/or a provide pedestrian pathway across the parking lot from the hotel to the Boulevard.

To facilitate a smooth hearing, the developer has been asked to have his Building Architect, Traffic, Noise, Water Quality and Landscape consultants available to respond to any questions the Commission may have. Staff recommends that the Commission open the public hearing, take public testimony and if appropriate, adopt the attached resolutions of approval.

Attachments:

1. *SPR Resolution No. 16-11 including Exhibits*
 - Exhibit A. Conditions of Approval*
 - Exhibit B. Site Plan*
 - Exhibit C. Renderings*
 - Exhibit D. Notice of Exemption*
2. *Conditional Use Permit Resolution No. 16-12*
3. *11X17 Spiral Bound Brochure*
4. **NOT INCLUDED IN YOUR PACKET BUT AVAILABLE ON CD AND HARDCOPY AND IN DEVELOPMENT SERVICES DEPARTMENT:**
 - Hotel Supplemental Reports**
 - a. Transportation Impact Analysis*
 - b. Air Quality/Greenhouse Gas Emissions Impact Analysis*
 - c. Noise Impact Analysis*
 - d. Phase 1 Environmental Site Assessment*

RESOLUTION NO. 16-11

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LOS ALAMITOS, CALIFORNIA, APPROVING SITE PLAN REVIEW (SPR) 16-02 TO ALLOW CONSTRUCTION OF A FOUR-STORY 61,643 SQUARE FOOT HOTEL AT 10650 LOS ALAMITOS BOULEVARD, IN THE GENERAL COMMERCIAL (C-G) ZONING DISTRICT, APN 242-243-03, AND DIRECTING A NOTICE OF EXEMPTION BE FILED FOR A CATEGORICAL EXEMPTION FROM CEQA (APPLICANT: SHAMIR NARSAI – TRIPLE SONS INVESTMENTS, LLC)

WHEREAS, an application for a Site Plan Review was submitted by Shamir Narsai of Triple Sons Investments, LLC on February 8, 2016, requesting approval for grading of an empty lot, and building a hotel with increased height, to be located at 10650 Los Alamitos Boulevard, APN 242-243-03; and,

WHEREAS, the verified application constitutes a request as required by Section 17.50.030 (Site Plan Review) and Section 17.10.020 Table 2-04 (Allowed Uses and Permit Requirements for Commercial/Industrial Zoning Districts) of the Los Alamitos Municipal Code; and,

WHEREAS, the Planning Commission reviewed the application for Site Plan Review at a duly noticed public hearing on May 25, 2016, at which time it considered all of the evidence presented, both written and oral.

NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF LOS ALAMITOS DOES RESOLVE AS FOLLOWS:

SECTION 1. The Planning Commission of the City of Los Alamitos, California, finds that the above recitals are true and correct.

SECTION 2. The Planning Commission hereby makes the following findings which are based on all of the evidence presented, both written and oral, including the staff report which is incorporated by reference:

- A. The design and layout of the hotel at 10650 Los Alamitos Boulevard, as conditioned, is consistent with the development and design standards/guidelines of the General Commercial (C-G) General Commercial Zoning District. As shown above, the development meets, or will be conditioned to meet, all requirements.
- B. The design and layout of the hotel at 10650 Los Alamitos Boulevard as conditioned, would not interfere with the use and enjoyment of neighboring commercial and industrial developments. The immediately surrounding uses are higher impact uses and this project has less impacts than the maximum use that has been studied for the General Plan. The approved

location is appropriate for a hotel. The location of the private driveway ingress/egress access to the surrounding streets would not create traffic or pedestrian hazards and would create a safe environment along Los Alamitos Boulevard with no curb cuts, Briggeman Street with one curb cut, and the less travelled Serpentine Drive with two curb cuts. The property is zoned for this type of development.

- C. The design of the hotel at 10650 Los Alamitos Boulevard as conditioned would maintain and enhance the attractive, harmonious, and orderly development of the property. The design is in harmony with surrounding development and improves upon the City's architecture with an updated commercial building design, extensive landscaping, and property maintenance required under the zoning code.
- D. The design of the hotel at 10650 Los Alamitos Boulevard, as conditioned, would provide a desirable environment for its occupants, visiting public, and its neighbors through good aesthetic use of materials, texture, landscaping, and color as described above. Such changes will enhance the existing property and maintain an appropriate level of maintenance, through the implementation of maintained landscaping, removal of an aged screening fence for a vacant property, and adding on-site management presence. The hotel use at this location is recognized as a low intensity use that will result in fewer impacts to the existing industrial and commercial uses surrounding this parcel, with regards to traffic, noise and aesthetics than other commercial type businesses.
- E. The proposed hotel at 10650 Los Alamitos Boulevard, as conditioned, would not be detrimental to the public health, safety, or welfare or materially injurious to the properties or improvements in the vicinity as the development will improve a long-vacant commercial site rather than leaving an unmaintained, fenced off area in the middle of the City's commercial business area. As stated in the Notice of Exemption, the proposed project will not result in noise, traffic, air or water quality impacts as the applicant has submitted studies which show that the project will not result in any traffic, noise or air impacts. Compliance with standard conditions of approval will insure there are no water quality impacts, lighting or issues related to signage.
- F. The proposed hotel at 10650 Los Alamitos Boulevard, as conditioned would not depreciate property values in the vicinity, as the area is zoned for this type of use and it will actuality improve the aesthetics by eliminating the blighted vacant lot.

SECTION 3. The Commission concurs with Staff's determination that the project qualifies for an Infill Exemption under CEQA based on the following from the City's CEQA Consultant:

The development of the proposed project by the applicant complies with the requirements prescribed in Section 15332 of the CEQA Guidelines for "in-fill" development. Specifically, the proposed project is: (1) consistent with the land use and zoning adopted for the site; (2) located within the City of Los Alamitos; (3) surrounded by development on all sides of the property; (4) less than five acres in size; (5) has no value as habitat for endangered and/or sensitive species; (6) will not result in significant noise, traffic, air quality or water quality impacts; and (7) can be served by the existing public services and utilities as discussed below.

SECTION 4. Based upon such findings and determinations, the Planning Commission hereby approves Site Plan Review SPR16-02, as represented by the plans and elevations in "Exhibit B" and subject to the conditions located in "Exhibit A."

SECTION 5. The Secretary of the Planning Commission shall forward a copy of this Resolution to the applicant and any person requesting the same, and Staff shall file the Notice of Exemption, attached hereto as Exhibit C, with the County Clerk.

PASSED, APPROVED, AND ADOPTED this 25th day of May, 2016, by the following vote:

Mary Anne Culty, Chair

ATTEST:

Steven A. Mendoza, Secretary

APPROVED AS TO FORM:

Lisa Kranitz, Assistant City Attorney

STATE OF CALIFORNIA)
COUNTY OF ORANGE) ss
CITY OF LOS ALAMITOS)

I, Steven Mendoza, Planning Commission Secretary of the City of Los Alamitos, do hereby certify that the foregoing Resolution was adopted at a regular meeting of Planning Commission held on the 25th day of May, 2016, by the following vote, to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

Steven A. Mendoza, Secretary

**HOTEL PROJECT
CONDITIONS OF APPROVAL
SPR 16-02
CUP 16-04
CUP 16-05**

GENERAL CONDITIONS

1. Approval of this application is to develop a 61,643 square foot, 44'9" Marriott Fairfield Inn & Suites at 10650 Los Alamitos Boulevard (APN 243-243-03) with such additions, revisions, changes or modifications as required by the Planning Commission pursuant to approval of a Site Plan Review and Conditional Use Permits noted thereon, and on file in the Community Development Department. Subsequent submittals for this project shall be consistent with such plans and in compliance with the applicable land use regulations of the Los Alamitos Municipal Code and any applicable state law. If any changes are proposed regarding the use, tenancy, location or alteration of the plans dated September 14, 2015 (as amended during the hearing); a request for an amendment of this approval must be submitted to the Community Development Director. If the Community Development Director determines that the proposed change or changes are consistent with the provisions and spirit of intent of this approval action, and that such action would have been the same with the proposed change or changes as for the proposal approved herein, the amendment may be approved by the Community Development Director without requiring a public meeting.
2. The applicant shall defend, indemnify, and hold harmless the City of Los Alamitos, its agents, officers, or employees from any claim, action or proceeding against the City or its agents, officers or employees to attack, set aside, void or annul an approval of the City, its legislative body, advisory agencies or administrative officers the subject application. The City will promptly notify the applicant of any such claim, action or proceeding against the City and the applicant will either undertake defense of the matter and pay the City's associated legal costs, or will advance funds to pay for defense of the matter by the City. Notwithstanding the foregoing, the City retains the right to settle or abandon the matter without the applicant's consent, but should it do so, the City shall waive the indemnification herein, except the City's decision to settle or abandon a matter following an adverse judgment or failure to appeal, shall not cause a waiver of the indemnification rights herein.
3. The applicant shall file an Acknowledgment of Conditions of Approval with the Community Development Department within 30 days of final approval of all resolutions. The property applicant shall be required to record the Acknowledgment of these Conditions of Approval with the Office of the Orange

County Recorder and proof of such recordation shall be submitted to the Community Development Department.

4. In case of violation of any of the conditions of approval of applicable law, the property owner and tenant will be issued a Notice of Correction if said violation is not remedied within a reasonable period of time and/or subsequent violations of the conditions of approval and/or City law occurs within ninety days of any Notice of Correction, the property owner shall be held responsible to reimburse the City for all staff time directly attributable to enforcement of the conditions of approval, mitigation measures, and/or City law including but not limited to, revocation of the herein approvals.
5. Approval of Site Plan Review 16-02 and Conditional Use Permits 16-04 & 16-05 shall be valid for a period of eighteen (18) months from the date they are approved. If construction is commenced within this eighteen (18) month period and construction is being pursued diligently toward completion, the approvals shall stay in full force and effect.

PLANNING

6. Hotel shall not be an extended stay hotel.
7. Hotel Shall be developed to the AAA Three Diamond standard or better as described below:
 - a. More attention has been paid to style and décor, and amenities and services have been added:
 - b. Better curb appeal, landscaping and lighting in the parking lot; porte-cochere entry
 - c. Carpet, wood or tile floors with accent rugs; more seating in the registration area; luggage carts
 - d. Small gift shop
 - e. Swimming pool, hot tub and an exercise room
 - f. Full service restaurant or food court (or an expanded continental breakfast) and a lounge
 - g. Larger guest rooms with coordinated furniture and décor, better bed linens, blackout drapes or shades, closet with hangers, TV on a credenza with remote and movie channels, coffee maker, two-line phone, video games, wall-mounted hair dryer, shampoo.
 - h. Internet access, elevator, valet laundry, telephone, vending, ice machines
8. Applicant shall ensure that bicycle racks are installed on site for both patrons and employees.
9. Prior to issuance of a building permit for any fences and/or walls, the specific design, placement, screening, height, and other design components of the proposal shall be reviewed and approved by the Director of Community

Development. Any fence and/or wall design proposed to occur on the property shall be compatible with the overall project design, as determined by the Director of Community Development.

10. Prior to the issuance of any building permit, the design, location, and placement of required screening for rooftop or ground - level equipment (e.g., parapets, fencing, panels, etc.) shall be reviewed and approved by the Director of Community Development. As directed, minor revisions to the parapet design or other building elevation design elements shall be made to ensure that all rooftop equipment is adequately screened to the satisfaction of the Director of Community Development.
11. The applicant shall provide, as a minimum, a trash enclosure to hold two standard dumpsters for solid waste and recycling, with five (5) foot by eight (8) foot clear interior dimension for each dumpster, including a solid roof designed to the satisfaction of the Director of Community Development. Walls shall be a minimum of five (5) feet high and constructed of reinforced masonry or similar material. The enclosure shall be constructed with a roof made of solid material, such as that provided by a standing-seam metal roof. Wrought iron or equivalent gates with latch shall be provided. The top one-foot of the gates shall be open work with screening; the remaining section of the gates shall have solid metal backing. Enclosures shall have an interior six-inch curb bumper. This area shall accommodate receptacles sufficient to meet the solid waste and recycling needs of the development project.
12. Applicant will promptly remove any graffiti or unapproved writing on the exterior walls of any structures within twenty-four hours of the onset of such graffiti or writing at the sole expense of the applicant.
13. Bollards shall be used to separate pedestrians from traffic at all fire hydrant, gazebo, and bench locations.
14. Parking Spaces shall be dimensioned not less than 9 feet by 19 feet for all spaces as required by Los Alamitos Municipal Code chapter 17.26.

Landscaping Conditions

15. A landscape Irrigation Plan prepared by a licensed landscape architect shall be submitted to the Community Development Department prior to the issuance of building permits. The Irrigation Plan shall include an irrigation system layout with the location of controllers and points of connection with data on valve sizes and gallons per minute (G.P.M.), the size and location of sleeves and all spray heads, including the location of conventional systems and drip systems; an irrigation legend with complete specifications; irrigation notes and construction details of all assemblies and components; a recommended irrigation schedule, preferably on an annual basis; and a summary block on the initial page of submitted plans that

will present the above information clearly and accurately. The City reserves the right to require subsequent checks, or approval of the landscape plans prior to issuance of a grading permit.

16. Landscaping shall comply with the City's water conservation ordinances in accordance with Chapter 13.04 (Water Conservation), Chapter 13.05 (Water Efficient Landscaping) of the Los Alamitos Municipal Code, and any provisions in the California Green Code.
17. Trees shall be planted outside of any Sight Safety Triangle or be trimmed to eight feet from above the adjacent top of curb.
18. All submitted landscape plans shall reflect the site plan dated May 5, 2016 and changes that may be incorporated by the Commission.
19. All arbors and benches shown on conceptual site plan shall be installed as illustrated on September 14, 2015 conceptual site plan.

Lighting Conditions

20. The applicant shall submit specs for the proposed on-site light poles and light pole base for review by the Community Development Department. Light pole base(s) shall utilize a decorative design to provide an enhanced appearance at the pedestrian level.
21. Photometric data must be provided to indicate that the parking area will meet one (1) foot-candle of minimum maintained illumination per square foot of parking surface, over the entire paved area. The parking area shall be illuminated from dusk until the termination of business every operating day.
22. Said lighting shall be constructed by using sufficient poles and fixtures so that the lighting is evenly distributed over the surface and does not impact adjacent public and/or private properties.
23. Lighting shall be shielded from neighboring properties and directed at a specific task or target. Exposed bulbs are prohibited.
24. Prior to permit issuance, applicant shall submit a lighting plan to the Community Development Department to the satisfaction of the Director of Community Development.
25. The applicant shall provide adequate exterior lighting that maintains performance standards as described in Chapter 8.48 Lighting Performance Standards in the Los Alamitos Municipal Code. All lighting structures shall be placed so as to confine direct rays to the subject property.

26. The applicant shall provide an illuminated uniform address number near the entryway of the building, or other location acceptable to the Director of Community Development.

27. All utility service lines shall be placed underground.

28. All utilities, when not enclosed in a cabinet, shall be screened from view from any place on or off site, by either plant materials or decorative screen, while allowing sufficient access for reading. Each building shall be separately metered.

Signage Conditions

29. Signage shall conform to Chapter 17.28 of the Los Alamitos Municipal Code. Applicant shall file future Sign Applications for monument and building signage. Pole Signs are not permitted.

Construction Conditions

30. During construction, the applicant will display a sign visible to the public from all surrounding streets with a contact number of the construction superintendant to address any questions or concerns about demolition, grading, and construction activities.

31. Hours and days of demolition, grading, and construction operations shall be prohibited between the hours of 8:00 P.M. and 7:00 A.M. on weekdays and Saturday. There shall be no construction activities on Sunday or a Federal holiday celebrated by the City of Los Alamitos without express approval by the Director of Community Development.

32. All construction vehicles or equipment, fixed or mobile, operated within 1,000 feet of an existing dwelling shall be equipped with properly operating and maintained mufflers.

33. Replace backup audible warning devices with backup strobe lights or other warning devices during evening construction activity to the extent permitted by the California Division of Occupational Safety and Health.

34. Prior to demolition and construction, a perimeter security fence not exceeding seven feet in height, shall be installed around the project site. The fencing shall include a green screen material or approved equivalent. The fence/screen material shall be properly maintained and be free of rips, tears, fraying, graffiti, and any other damage or vandalism.

35. During construction the site shall be maintained and kept clear of all trash, weeds, and overgrown vegetation. The contractor must use one of the City's approved solid waste haulers.

ENGINEERING

36. Applicant shall dedicate 10 feet of the northern property for street purposes along Briggeman Ave. The applicant shall satisfy dedication and/or reservation requirements as applicable, including, but not limited to, dedication in Fee Title of all required street rights of way; dedication of all required flood control right of way easements; and dedication of vehicular access rights defined and approved as to specific locations by the City Engineer (at no cost to the City) and / or other agencies.
37. Applicant shall underground power and any other utility on the poles along Briggeman Ave.
38. Provide two new driveway approaches on Serpentine Drive and one on Briggeman Avenue per City standards.
39. Remove and construct new sidewalks without tree wells along Los Alamitos Blvd.
40. Provide two new ADA Curb Ramps per the newest standard. One at the southeast corner of Los Alamitos Blvd. and Briggeman Avenue and the other at the northeast corner of Los Alamitos Blvd. at Serpentine Drive
41. Prior to issuance of an Encroachment Permit, The Applicant shall submit Improvement Plans for public works (off-site) improvements, and on-site improvements. Plan check fees shall be paid in advance. The applicant shall submit to the Public Works Department 24" x 36" reproducible street improvement plans, as prepared by a California Registered Civil Engineer, for approval. The plans shall clearly show existing and proposed surface and underground improvements, including construction and / or replacement of any missing or damaged public improvements adjacent to this development. Said plans shall include, but not be limited to, the following:
 - a) Curb and gutter
 - b) Sidewalk, including curb ramps for the physically disabled
 - c) Drive aprons
 - d) Signing / striping
 - e) Street paving
 - f) Street lighting
 - g) Catch basin / storm drain laterals /connection to existing storm drain system.
 - h) Domestic water facilities
 - i) Reclaimed water facilities
 - j) Sanitary sewer facilities
 - k) Landscape / irrigation
 - l) Dry utility lines
 - m) Traffic signal
42. Current Federal Americans with Disabilities Act (ADA) requirements shall be met at all driveways and sidewalks adjacent to the site. City of Los Alamitos standards shall apply, unless otherwise approved by the City Engineer.

43. The applicant shall coordinate the relocation of an existing Southern California Edison (SCE) street light with SCE. The applicant shall be responsible for all costs associated with the relocation of the SCE street light.
44. All existing off-site public improvements (sidewalk, curb and gutter, driveways, and street paving) at the development site which are in a damaged condition or demolished due to the proposed work shall be reconstructed to the satisfaction of the City Engineer, and per OCPFRD Standard Plan.
45. Driveway slope shall be a minimum slope of 1% for asphalt and .5% for concrete and Parking lot slope shall be a minimum slope of 1%.
46. If utility cuts are excessive in the street the street must be have a grid and overlay place on it per the satisfaction of the City Engineer. See Public Work Encroachment Conditions.
47. A bond or surety device shall be posted with the City in an amount and type sufficient to cover the amount of off-site and on-site work to be done, as approved by the City Engineer.
48. Hydrologic and hydraulic calculations demonstrating adequate site drainage from a 10-year return frequency storm (25-year frequency in sump areas) prepared by a Registered Civil Engineer shall be submitted with the Grading Plan.
49. An on-site drainage plan shall be prepared and submitted to the City Engineer for approval. Plan shall be 24" x 36", with elevations to nearest 0.01 foot, minimum scale 1" = 20'. Plan shall be prepared by Registered Civil Engineer. Public works improvements may be shown on this plan.
50. Provide catch basin that meet NPDES standards along the north side of Serpentine Drive east of the first drive near Los Alamitos Blvd and connect to the storm drain in Serpentine Drive. Enlarge the existing catch basin on the north side of Serpentine Drive near Los Alamitos Blvd. 10-year storm cannot overtop Serpentine Drive curb in front of the property.
51. An on-site grading plan shall be prepared and submitted to the City Engineer for approval. Plan shall be 24" x 36", with elevations to nearest 0.01 foot, minimum scale 1" = 20'. Plan shall be prepared by Registered Civil Engineer. Public works improvements may be shown on this plan.
52. Pad certification by the Design Civil Engineer and Soil Engineer is required prior to the commencement of structural construction.

53. Final compaction report prepared by a qualified Soil Engineer shall be submitted to the City Engineer for review and approval prior to the commencement of structural construction.
54. The Development shall comply with all applicable provisions of the City of Los Alamitos Water Quality Ordinance and all Federal, State, and Regional Water Quality Control Board rules and regulations.
55. Developer shall prepare a sedimentation and erosion control plan for all work related to this development.
56. Prior to issuance of a Grading Permit, a final grading plan, prepared by a California Registered Civil Engineer, shall be submitted and approved. The plan shall be consistent with the approved site plan and landscaping plans.
57. Prior to issuance of a Grading Permit, a grading bond (on a form acceptable to the City) will be required. The engineer's estimate, which covers the cost of all work shown on the grading plan, including grading, drainage, water, sewer and erosion control, shall be submitted to the City for approval.
58. Prior to issuance of any permits, the applicant shall submit for approval by the Community Development and Public Works Departments, a Water Quality Management Plan (WQMP). If the WQMP has been determined to be a Priority WQMP, it shall identify Low Impact Development (LID) principles and Best Management Practices (BMPs) that will be used on-site to retain storm water and treat predictable pollutant run-off. The Priority WQMP shall identify: the implementation of BMPs, the assignment of longterm maintenance responsibilities (specifying the developer, parcel owner, maintenance association, lessees, etc.) and reference to the location(s) of structural BMPs.
59. Prior to final inspection of the project, a Water Quality Management Plan (WQMP) shall be recorded with the County of Orange and presented to the Planning Department.
60. Prior to issuance of any permits, the applicant shall record a "Covenant and Agreement Regarding O & M Plan to Fund and Maintain Water Quality BMPs, Consent to Inspect, and Indemnification", with the County Clerk - Recorder. These documents shall bind current and future owner(s) of the property regarding implementation and maintenance of the structural and non-structural BMPs as specified in the approved WQMP.
61. Prior to issuance of a Grading Permit, the applicant shall submit a copy of the Notice of Intent (NOI) indicating that coverage has been obtained under the National Pollutant Discharge Elimination System (NPDES) State General Permit for Storm Water Discharges Associated with Construction Activity from the State Water Resources Quality Control Board.

Traffic / Street Lights

67. Applicant shall move or install new traffic signal poles as required by current standards at Los Alamitos Blvd and Briggeman Ave.
68. Applicant shall move traffic signal control boxes that are on Los Alamitos Blvd. sidewalk to Briggeman Avenue sidewalk.
69. Applicant shall install new street light on the north side of Serpentine Drive along the curved portion of the roadway.
70. Applicant shall remove the wooden street light pole and replace with marble pole and underground the power to the other poles mentioned in Condition 69 above which is located at the south eastern portion of the property
71. Applicant shall replace the existing street light on Briggeman Avenue where the power lines are being undergrounded with a new marblelite pole.
72. Pursuant to and in accordance with Government Code Section 66020(d)(1), the Project Applicant is hereby notified as follows:
73. The fees, dedications, reservations and other exactions (“impositions”) imposed on this development and which are subject to notification pursuant to Government Code Section 66020(d)(1) are based upon the May 2015 Traffic Impact Analysis provide by the Transpo Group: The proposed project is anticipated to generate 907 net new daily trips with 59 occurring during the AM peak hour and 67 occurring during the PM peak hour. The Applicant is hereby notified that any protest to the impositions described above must be made within 90 days from the date of this Resolution’s approval. The Applicant also is notified that any lawsuit to protest these impositions must be filed within 180 days from the date of this notice and that the timely making of a 90-day protest is a prerequisite to filing such.

Traffic Impact Fees:	Commercial \$3.36 square foot.
Dedication:	10 feet along Biggeman
Improvement:	Realignment of intersection of Biggeman and Los Alamitos Boulevard to match with Sausalito and Los Alamitos Boulevard

ROSSMOOR/LOS ALAMITOS SEWER DISTRICT

74. The developer will be responsible for paying all related permit, connection, plan checking and inspection fees for this project.
75. The applicant shall comply with all requirements of the Rossmoor/Los Alamitos Area Sewer District for sewer connections and sewer improvements.

PUBLIC WORKS

76. The Applicant shall replace all of the existing sidewalks, surrounding the parcel, to include the latest ADA curb ramps where applicable.
77. The Applicant shall install five (5) new public sidewalk street trees that are crape myrtle and are staggered diagonally every thirty feet (or 15 feet between each private property crape myrtle) and are to include irrigation and metal grates to the satisfaction of the City's Public Works Superintendent.
78. All Toyon plants along Los Alamitos Boulevard shall be removed from the landscape plan and replaced with a plant that is acceptable to the City's Public Works Superintendent.

BUILDING AND SAFETY DIVISION

79. The applicant must comply with all current California Building Codes.
80. The applicant shall submit three sets of complete building plans to the Building and Safety Department for review, to include structural calculations.
81. The applicant shall submit Title 24 calculations and grading & drainage plans.
82. Prior to obtaining grading permits, the applicant shall submit a Stormwater Pollution Prevention Plan (SWPPP) for review and approval by the Building and Safety Division.
83. At the time of building permit application, the plans shall comply with the latest edition of the codes, City Ordinances, State, Federal laws, and regulations as adopted by the City Council of the City of Los Alamitos.
84. At permit issuance, the Building Department will collect fees on behalf of the Orange County Sanitation District.
85. Prior to permit issuance, school fees must be paid to the Los Alamitos Unified School District.
86. The Applicant shall submit a liquefaction report, by a registered geotechnical engineer, with build plans.
87. Prior to permit issuance, the Applicant shall submit a copy of the front page of the approved Orange County Fire Authority plan set.

ORANGE COUNTY FIRE AUTHORITY

88. **Plan Submittal:** The applicant or responsible party shall submit the plan(s) listed below to the Orange County Fire Authority for review. Approval shall be obtained on each plan prior to the event specified.

Prior to issuance of a grading permit, or a building permit if a grading permit is not required:

- fire master plan (service code PR145)

Prior to issuance of a building permit:

- architectural (service codes PR200-PR285)
- underground piping for private hydrants and fire sprinkler systems (service code PR470-PR475)
- fire sprinkler system (service codes PR400-PR465)

Prior to concealing interior construction:

- sprinkler monitoring system (service code PR500)
- fire alarm system (service code PR500-PR520)
- hood and duct extinguishing system (service code PR335)

Specific submittal requirements may vary from those listed above depending on actual project conditions identified or present during design development, review, construction, inspection, or occupancy. Standard notes, guidelines, submittal instructions, and other information related to plans reviewed by the OCFA may be found by visiting www.ocfa.org and clicking on "Fire Prevention" and then "Planning & Development Services."

89. **Lumber-drop Inspection:** After installation of required fire access roadways and hydrants, the applicant shall receive clearance from the OCFA prior to bringing combustible building materials on-site. Call OCFA Inspection Scheduling at (714) 573-6150 with the Service Request number of the approved fire master plan at least two days in advance to schedule the lumber drop inspection.

Orange County Environmental Health

90. Permits will be required for the hotel, pool, spa, and any food served at the site. Plans are required. Contact plan check at 714-433-6074.

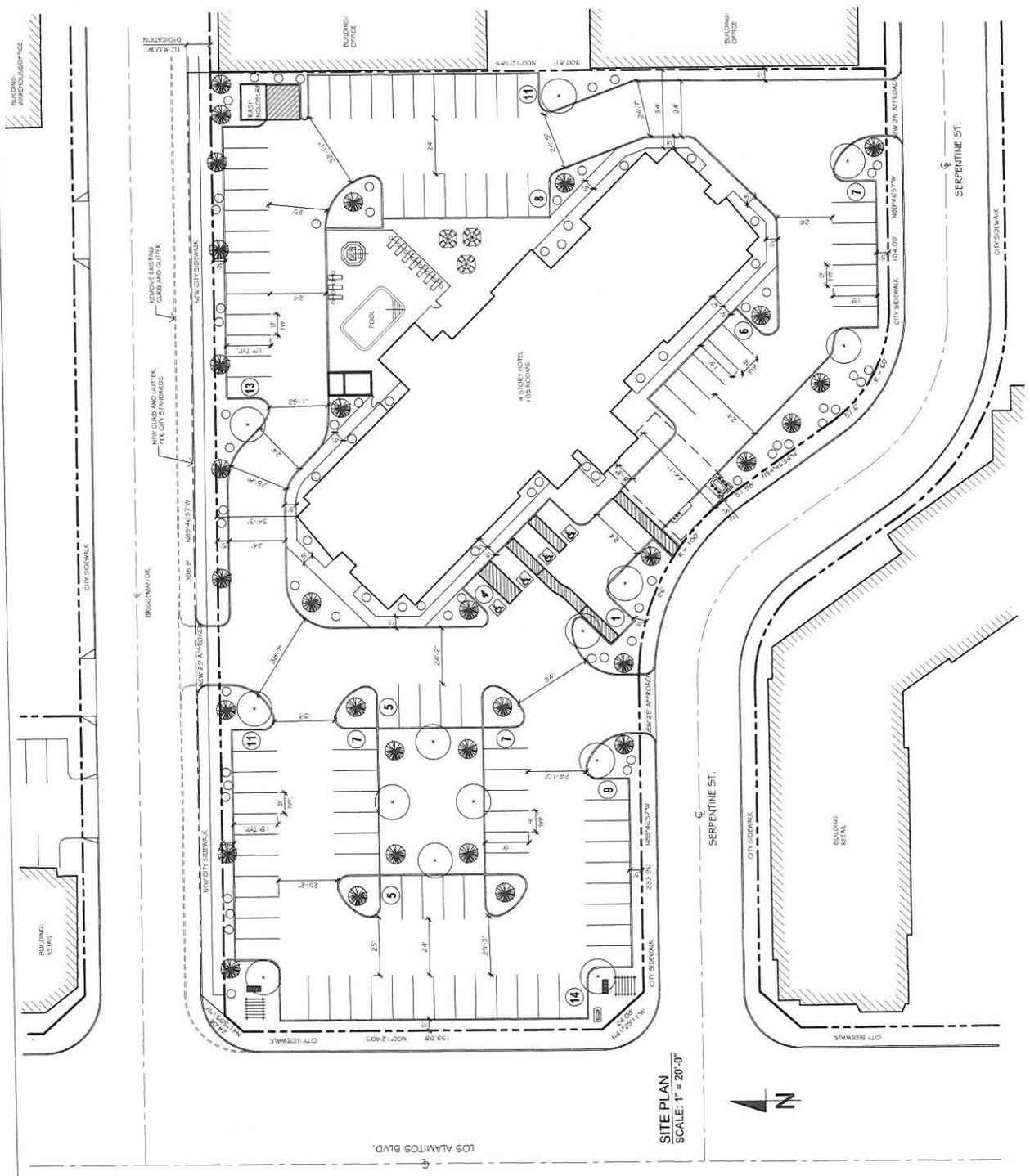
MIAGANY DRAFTING AND DESIGN
 UNIT D
 9815 CARMENITA ROAD
 WHITTIER, CA 90605
 MOBIL: (562) 479-1896

DATE: 9/14/15

FAIRFIELD INN AND SUITES MARRIOTT
 NEW FOUR STORY 108 ROOM HOTEL
 JOB ADDRESS: 10650 LOS ALAMITOS BLVD
 TRIPLE GEMS INVESTMENTS, LLC
 14912 GRANDVIEW PL
 CERRITOS, CA 90703
 PHONE: (562) 412-1307

SITE PLAN

A-1

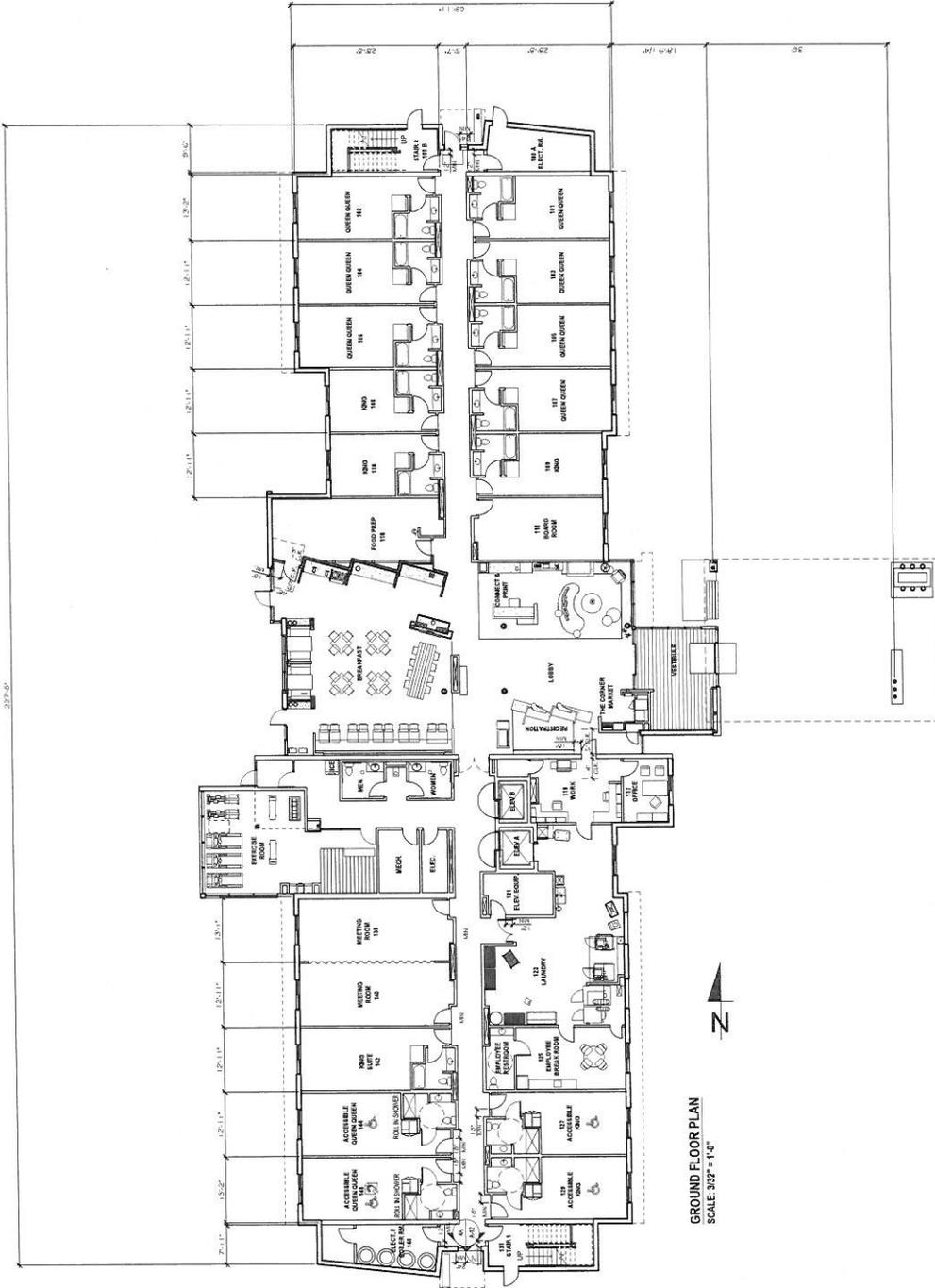


SITE PLAN
 SCALE: 1" = 20'-0"

FAIRFIELD INN AND SUITES MARIOTT
 NEW FOUR STORY 108 ROOM HOTEL
 JOB ADDRESS: 10860 LOS ALAMOS BLVD
 LOS ALAMOS, CA 90720
 OWNER: TRIPLE SONS INVESTMENTS, LLC
 16912 GRIDLEY PL
 CERRITOS, CA 90703
 PHONE: (62) 412-1307

DATE:	9/14/15

MIGANY DRAFTING AND DESIGN
 8815 CAMBENITA ROAD
 UNIT D
 WHITTIER, CA 90605
 MOBIL: (62) 479-1896



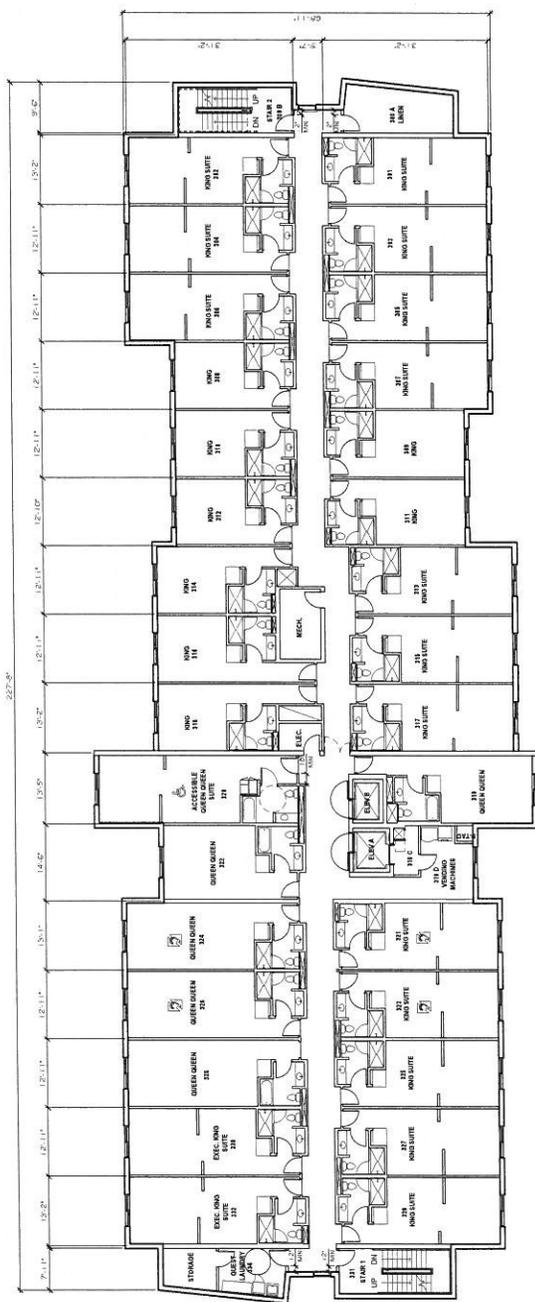
GROUND FLOOR PLAN
 SCALE 3/32" = 1'-0"

MIAGANY DRAFTING AND DESIGN
 1915 CARMINITA ROAD
 UNIT D
 WHITTIER, CA 90605
 MOBIL: (562) 479-1996

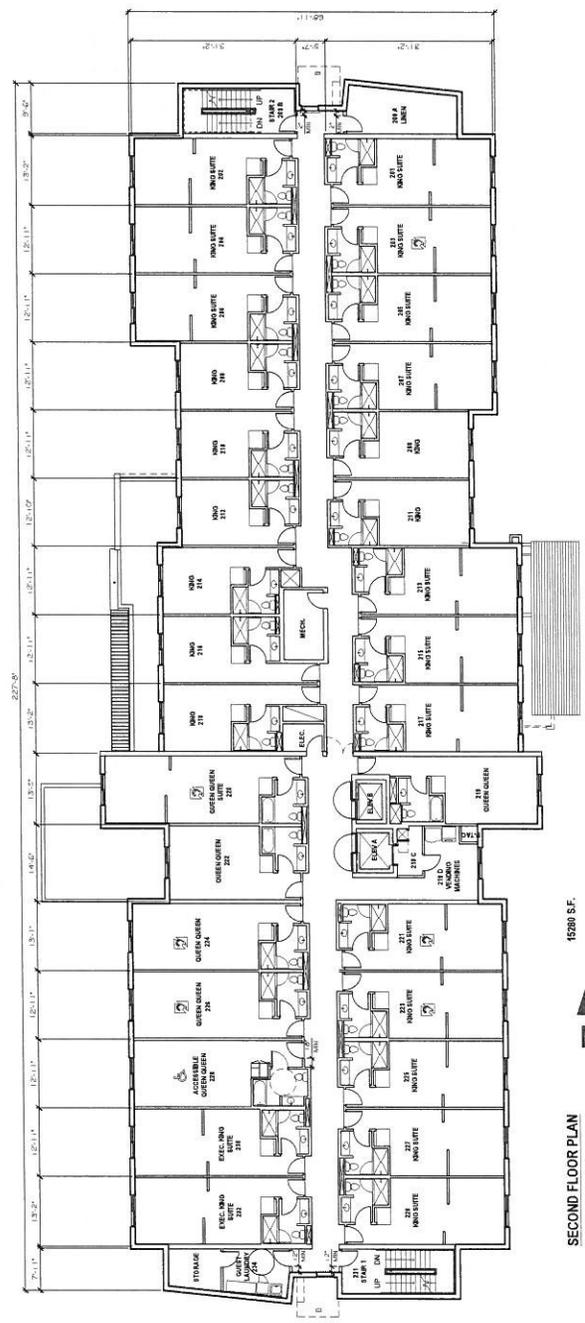
DATE: 9/14/15
 JOB ADDRESS: 1088 LOS ALAMOS BLVD
 NEW FOUR STORY 108 ROOM HOTEL
 TRIPLE SONS INVESTMENTS, LLC
 16912 GRIDLEY PL
 CERRITOS, CA 90703
 PHONE: (562) 412-1307

SECOND AND THIRD
 FLOOR PLANS

A-3



THIRD FLOOR PLAN
 SCALE: 3/32" = 1'-0"
 15280 S.F.



SECOND FLOOR PLAN
 SCALE: 3/32" = 1'-0"
 15280 S.F.

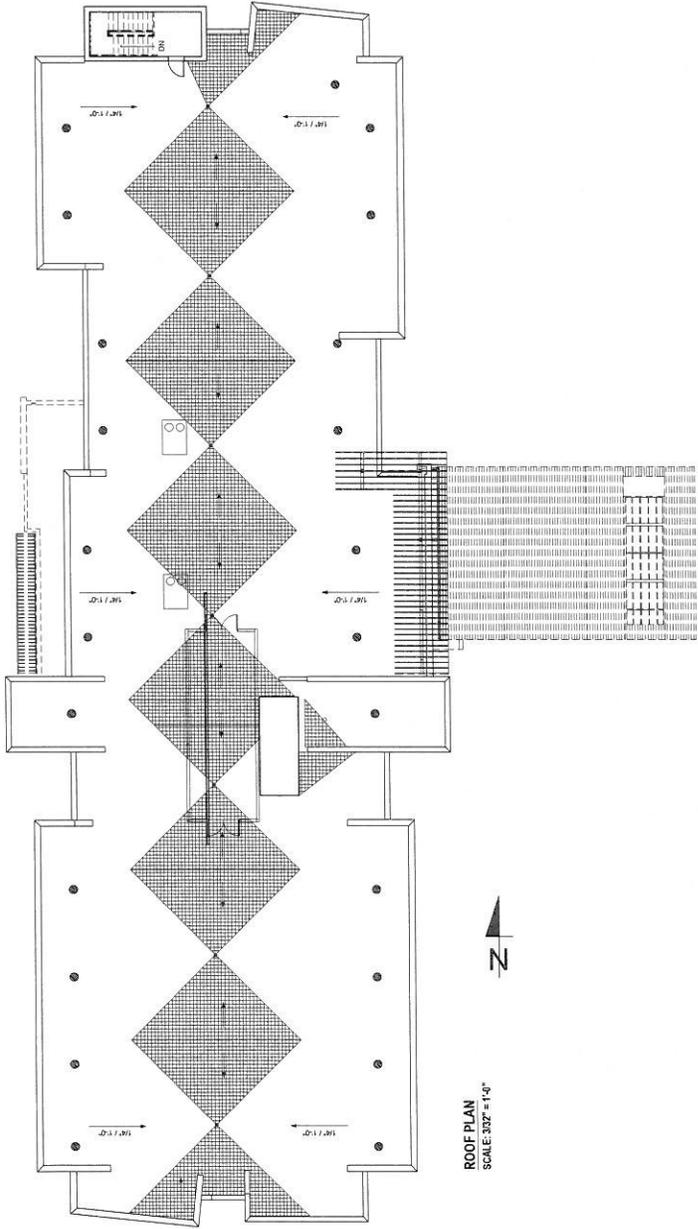
MAGANY DRAFTING AND DESIGN
 96 S CAMARANTA ROAD
 UNIT D
 WHITTIER, CA 90605
 MOBILE: (562) 479-1896

DATE: 9/14/15

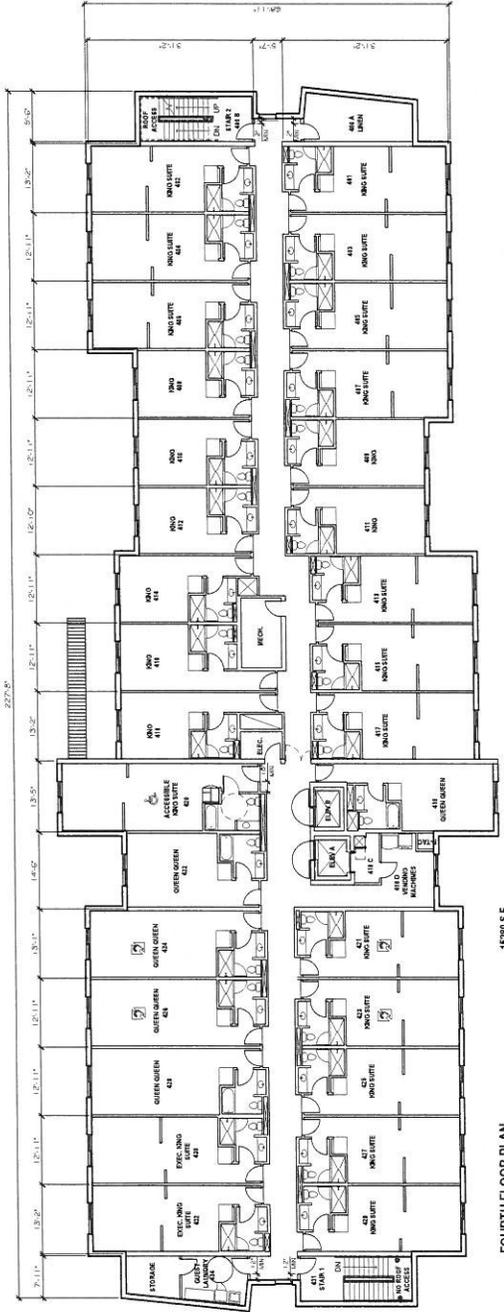
FAIRFIELD INN AND SUITES MARIOTT
 NEW FOUR STORY 108 ROOM HOTEL
 JOB ADDRESS: 1800 LOS ALAMOS BLVD.
 LOS ALAMOS, CA 90729
 OWNER: TRIPLE SONS INVESTMENTS, LLC.
 ADDRESS: 18912 GRIDLEY PL.
 CERRITOS, CA 90703
 PHONE: (562) 412-1307

FOURTH FLOOR AND
 ROOF PLANS

A-4



ROOF PLAN
 SCALE: 3/32" = 1'-0"



FOURTH FLOOR PLAN
 SCALE: 3/32" = 1'-0"

15288 S.F.

Exhibit C







Best Western Los Alamitos Inn & Suites

Sausalito St

Shenandoah At the Arbor



Reagan St

Briggeman Dr

Serpentine Dr

Los Alamitos Blvd

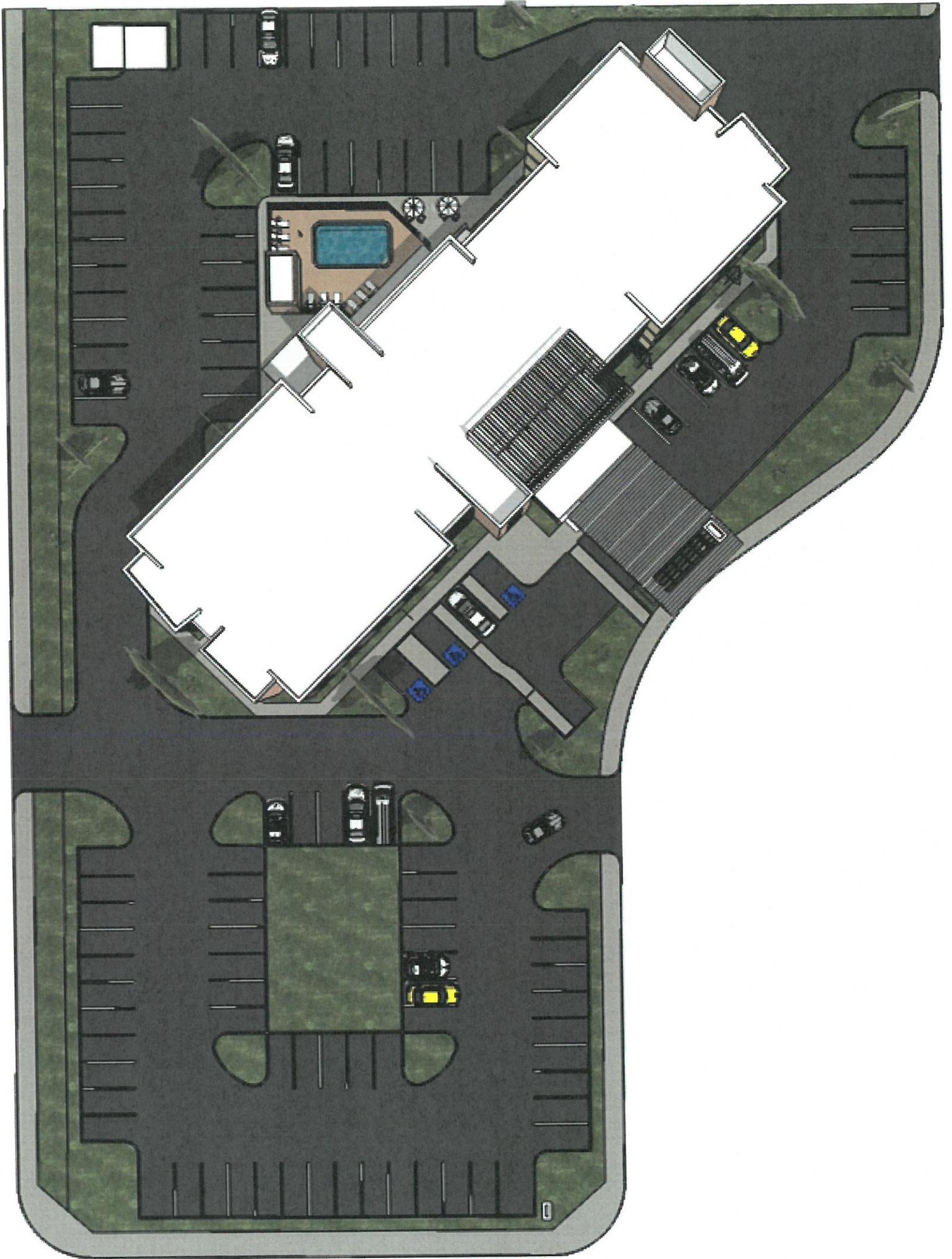


EXHIBIT D

Notice of Exemption

To: Office of Planning and Research
1400 Tenth Street, Room 222
Sacramento, CA 95814

From: City of Los Alamitos
3191 Katella Avenue
Los Alamitos, CA 90720-5600

County Clerk/Recorder
County of Orange
P. O. Box 238
Santa Ana, CA 92702-0238

Project Title: Fairfield Inn & Suites

Project Location: 2.23 Acres at the S/E corner of Los Alamitos Boulevard and Briggeman Drive

Description of Nature, Purpose, and Beneficiaries of Project: The project is located on the southeast corner of Los Alamitos Boulevard and Briggeman Drive in Los Alamitos, California. The proposed project would include a free-standing 4-story, 108-room hotel encompassing approximately 61,643 square feet. It is anticipated that the project would be completed and in full operation by 2017. Vehicular access is proposed via three driveways, including one located off Briggeman Drive and two located along Serpentine Drive. The proposed project would provide a total of approximately 108 parking spaces within a single surface parking lot. Access to the parking lot is provided via Briggeman Avenue and Serpentine Drive. The Conceptual Site Plan is illustrated on Exhibit 1.

Name of Public Agency Approving Project: City of Los Alamitos

Name of Person or Agency Carrying Out Project: Shamir Narsai/Triplesons Investments, 16027 Brookhurst Street, Suite G238, Fountain Valley, CA 92708

Exempt Status: (check one)

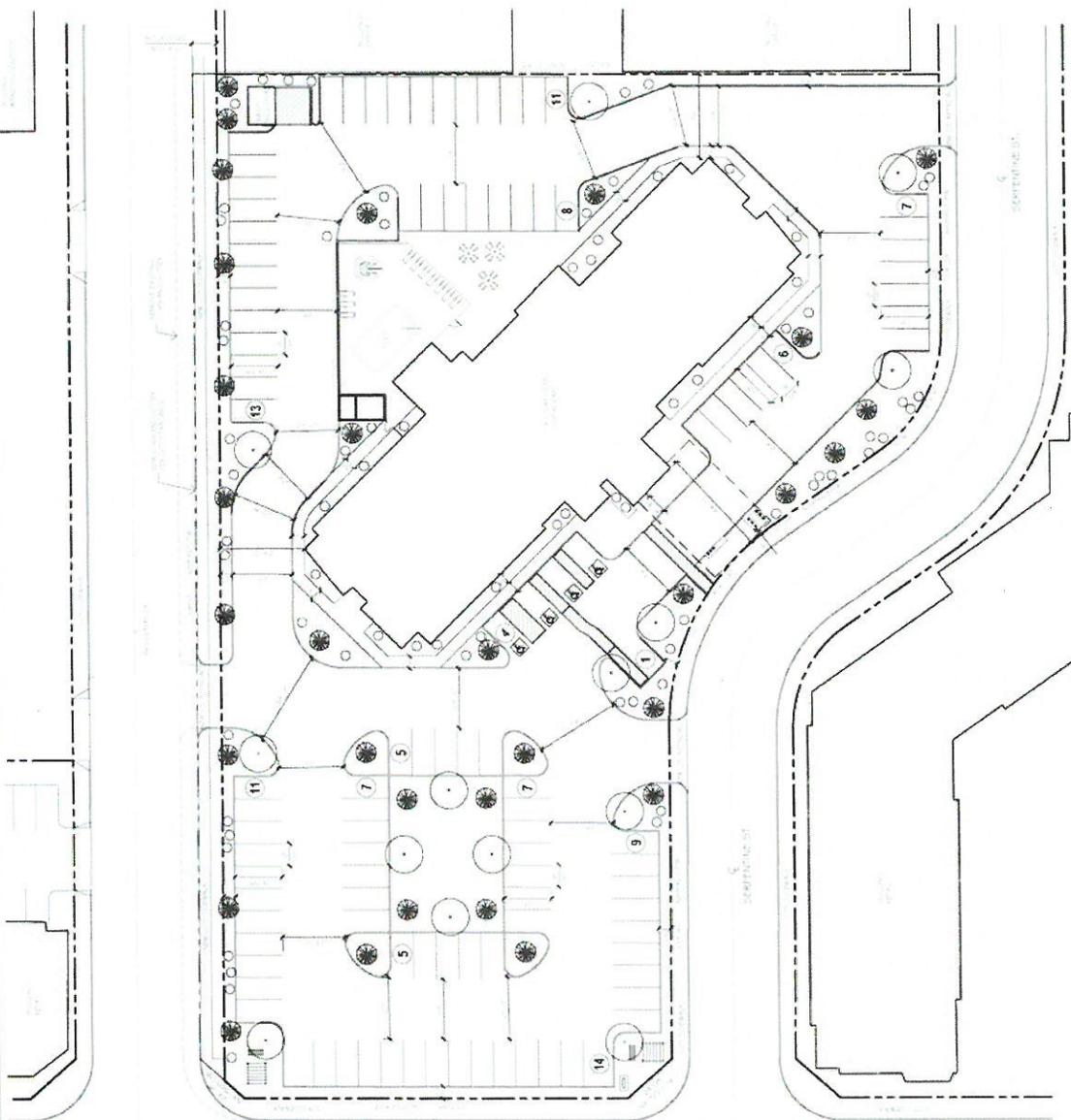
- Ministerial (Sec. 21080(b); 15268);
- Declared Emergency (Sec. 21080(b)(3); 15269(a));
- Emergency Project (Sec. 21080(b)(4); 15269(b)(c));
- Categorical Exemption; Type and Section Number: Article 19, Section 15332 (Infill Development)
- Statutory Exemptions; Code Number:

Reasons why project is exempt:

The development of the proposed project by the applicant complies with the requirements prescribed in Section 15332 of the CEQA Guidelines for "in-fill" development. Specifically, the proposed project is: (1) consistent with the land use and zoning adopted for the site; (2) located within the City of Los Alamitos; (3) surrounded by development on all sides of the property; (4) less than five acres in size; (5) has no value as habitat for endangered and/or sensitive species; (6) will not result in significant noise, traffic, air quality or water quality impacts; and (7) can be served by the existing public services and utilities as discussed below.

Existing Zoning:

The 2.23-acre site proposed to accommodate the proposed hotel is zoned C-G (General Commercial).



SITE PLAN
SCALE: 1" = 20' 0"

MICKEY DRAFTER AND DESIGN
1015 CAMP SUTHERLAND
SHERBORN, CA 94066
PHONE: (415) 879-1906
FAX: (415) 879-1906

SITE PLAN
PROJECT: NEW FOUR STORY ROOM HOTEL
OWNER: [REDACTED]
ARCHITECT: MICKEY DRAFTER AND DESIGN
DATE: [REDACTED]

A-1

Exhibit 1
Conceptual Site Plan

Notice of Exemption

Existing General Plan Land Use Element:

The subject property is currently undeveloped. The site is designated as “Retail Business” by the Land Use Element of the Los Alamitos General Plan.

Environmental Analysis:

1. The Project is Consistent with the Applicable General Plan Designation, General Plan Policies, and Zoning

As indicated above, the subject property is designated as “Retail Business” on the Land Use Element of the Los Alamitos General Plan. Land uses intended within this land use designation include commercial retail uses that include supermarkets, drugstores, personal services, restaurants, and facilities that offer a variety of retail products. General services such as auto-related sales and repair, nurseries, plumbing outlets, and home appliance stores are permitted subject to special review procedures. The Retail Business land use designation allows a floor area ratio (FAR) of 1.0 (i.e., one square foot of development floor area for each square foot of land area). The project applicant is proposing a 61,643 square foot hotel structure. Based on the 2.23-acre site (91,476 square feet), the proposed project equates to a FAR of 0.67 and is, therefore, consistent with the FAR allocation of the Retail Business land use designation

According to the Land Use Element of the Los Alamitos General Plan, the subject property is one of the only a few vacant properties in the City. Over the years the land has served temporary uses such as Christmas tree sales or a short-term carnival. As indicated in the General Plan, it will be crucial to ensure that the design of any new development complements the objectives of the downtown effort and the goals and policies of the General Plan, including maximizing public plaza space if Serpentine Street is vacated. Table 1-1 identifies the relevant land use policies applicable to the proposed project.

**Table 1-1
Relevant Land Use Policies**

Policy No.	Relevant Land Use Policy	Consistency
Goal 1: An attractive and pedestrian-friendly town center that serves as the heart of the community.		
1.1	Town Center. Promote the development of a unique town center around Los Alamitos Boulevard, with spaces designed for community celebrations.	The project includes the development of a 108-room hotel to serve visitors to the City of Los Alamitos
1.3	Diverse businesses and activities. Attract and retain a variety of shopping, dining and entertainment options for residents and visitors in the town center. Encourage the creation of daytime, nighttime, and weekend activity in the town center.	The proposed hotel is a business that will accommodate visitors to the City and will serve as an “attractor” of visitors to the town center.
Goal 2: Fiscally sustainable growth and economic development through a balanced mix of land uses and development types.		
2.1	Fiscal Impacts. Require that new development be fiscally neutral or positive and can be adequately served by public facilities without negatively impacting serve to existing businesses and neighborhoods.	The hotel will generate revenue through a bed tax and related tax, which would be used by the City to provided public services and facilities to residents.

Notice of Exemption

Policy No.	Relevant Land Use Policy	Consistency
2.2	Mix of land uses. Maintain a balanced mix of residential, retail, employment, industrial, open space, and public facility land uses.	Implementation of the proposed hotel will increase the mix of land uses in the City and will create service-related jobs that would be available to residents in Los Alamitos.
2.4	Town center uses. Maximize shopping, dining, arts, and entertainment uses in the town center.	As indicated previously (refer to Policy 1.3), the proposed hotel will attract and accommodate visitors to the City who will shop and dine in the town center.
Goal 3: Commercial, office and industrial opportunities that maintain compatibility with surrounding neighborhoods, business, and public facilities.		
3.1	Compatibility. Require that new non-residential development is located, scaled, and designed to be compatible with existing adjacent neighborhoods and uses.	The proposed hotel will be subject to design review to ensure that the scale and character of the proposed structure is compatible with the existing land uses in the project area.
3.2	Economic viability. Preserve the economic viability and continuity of existing commercial and industrial businesses.	It is anticipated that hotel guests would shop and dine in the City, which will facilitate the preservation of the existing commercial and retail land uses in Los Alamitos and, in particular, within the town center.
Goal 4: Neighborhoods and buildings that are well maintained and demonstrate a sense of pride and identity.		
4.1	Pride and identity. Enhance the sense of identity and increase the feeling of pride among Los Alamitos residents, business owners, employees, and visitors through excellent physical design and continual property maintenance and improvements.	Refer to Policy 3.1. The project will be designed to be compatible with existing development and will be subject to review and approval by the City to ensure that the site is developed to meet the goals and objectives of the City, including the enhancement of a sense of identity.
4.2	Corridor design. Buildings and related improvements along the City's arterial streets should exhibit authentic and enduring design. Although no specific architectural style is required, the City prefers that designs for individual buildings stay true to a single architectural style and discourage franchise architecture.	As indicated in Policy 3.1, the proposed project would be subject to review by the City to ensure that the site and structure are designed to enhance the aesthetic character along Los Alamitos Boulevard and be compatible with the existing development in the project area. The introduction of landscaping will also complement the design of the project in order to create the desired character.

2. The Project is Located within City Limits and Not More Than Five Acres

The project site encompasses 2.23 acres within a single parcel (APN No. 242-243-03) and is consistent with the five acres or less requirement prescribed in Section 15332. The site is located entirely within the corporate limits of the City of Los Alamitos at 10650 Los Alamitos Boulevard.

3. The Project Site Has No Value as Habitat for Endangered, Rare or Threatened Species

As indicated above, the subject property is located in an area of the City that has been extensively developed and urbanized. The 2.23-acre property has been substantially altered in order to accommodate development that previously existed on the vacant parcel. The site is entirely devoid of native habitat and supports neither

Notice of Exemption

sensitive habitat nor sensitive plant or animal species. Vegetation on the site includes non-native species, including grass and weeds species. Because the project site is located in a highly urbanized area, with no natural open space and is without a direct connection to large areas of open space or native habitat, neither the subject property nor the surrounding area serves as a wildlife corridor. Furthermore, no trees exist on the subject property that would support nesting avian species. Therefore, the site neither supports sensitive species nor has any values as habitat for endangered species.

4. The Proposed Project Will Not Result in Significant Traffic and Circulation Impacts

A traffic impact analysis (TIA) was prepared by Transpogroup in June 2015 to evaluate several key study area intersections and to determine if the addition of project-related traffic would have a potentially significant adverse effect on traffic and circulation in the project area. It is important to note that the TIA evaluated a project that included a 111-room hotel and an 1,800 square foot fast food restaurant. However, the project has been redesigned to eliminate the fast food restaurant and reduce the number of rooms in the hotel to 108. As a result, the proposed project would generate approximately 450 fewer trips per day, including 42 fewer a.m. peak hour trips and 29 fewer p.m. peak hour trips, when compared to the project analyzed in the TIA. Therefore, the analysis presented in the TIA represents a “worst case” scenario of potential project-related traffic impacts.

City of Los Alamitos Significance Criteria

The City’s significance criteria are based on level of service calculations using the Intersection Capacity Utilization (ICU) methodology previously discussed. The city has adopted a performance standard of level of service (LOS) D (peak hour volume-to-capacity less than or equal to 0.90). At intersections where the project causes a volume-to-capacity (V/C) greater than the acceptable LOS, mitigation of the project contribution is required to bring the intersection back to acceptable LOS or to the “no-project” condition. At intersections operating at LOS E or F in the future “without project” conditions, the project is considered to have an impact if the V/C ratio increase is greater than 0.01 and mitigation of the project contribution is required to bring the intersection back to no-project conditions.

Existing Traffic Conditions

Table 4-1 summarizes the existing intersection operational characteristics in the vicinity of the project site. As indicated below, the five key study area intersections are operating at acceptable levels of service with the exception of the Los Alamitos Boulevard/Cerritos Avenue intersection, which currently operates at LOS F during the p.m. peak hour.

Notice of Exemption

**Table 4-1
Existing Traffic Conditions**

Key Study Intersection	Traffic Control	Time Period	Existing Traffic Conditions	
			V/C ¹ or HCM ² /WM ³	LOS ⁴
Los Alamitos Boulevard/Cerritos Avenue	Signalized	AM PM	0.891 1.012	D F
Los Alamitos Boulevard/Briggeman Drive	Signalized	AM PM	0.719 0.710	C C
Los Alamitos Boulevard/Serpentine Drive	Unsignalized	AM PM	26.3/WB 30.6/WB	D D
Los Alamitos Boulevard/Florista Street	Signalized	AM PM	0.719 0.608	C B
Los Alamitos Boulevard/Katella Avenue	Signalized	AM PM	0.873 0.814	D D
<p>¹Volume-to-capacity ratio. ²Average delay per vehicle in seconds ³Worst movement reported for unsignalized intersections. ⁴Level of service (LOS) as defined by the 2010 Highway Capacity Manual.</p> <p>Bold – Unacceptable level of service.</p> <p>SOURCE: Transpogroup (June 2015; Updated September 23, 2015)</p>				

Project Trip Generation

As indicated previously, the project proposes the development of a 108 room hotel. Table 4-2 summarizes the trip generation resulting from project implementation. The vehicle trip generation for the project was developed using rates from the Institute of Transportation Engineers (ITE) *Trip Generation* (9th Edition, 2012). It is important to note that the TIA prepared for the project analyzed a hotel and fast food restaurant. The fast food restaurant, which has been eliminated as a project component, generated a total of 455 net trips/day.¹ As indicated below, the project as currently proposed would generate a total of 907 vehicle trips per day, compared to 1,362 daily trips when the TIA assessed the hotel and fast food restaurant. As indicated above, the traffic impact analysis, which includes the traffic generated by the slightly larger hotel and the 1,800 square foot fast food restaurant and summarized in this section, reflects the potential impacts resulting from the generation of 1,362 daily vehicle trips and, therefore, presents a “worst case” assessment of the proposed project.

¹The total number of trips generated by the fast food restaurant (893) was reduced by 49% in order to account for “pass-by” traffic associated with that use.

Notice of Exemption

Table 4-2

**Trip Generation
Fairfield Inn and Suites Project**

Land Use	ITE Code	Daily	AM Peak Hour			PM Peak Hour		
			In	Out	Total	In	Out	Total
Trip Generation Rates								
Hotel	310	8.17	0.32	0.21	0.53	0.31	0.30	0.61
Project-related Trip Generation								
Hotel		907	35	24	59	34	33	67
SOURCE: Transpogroup (June 2015; Updated September 23, 2015) ITE Trip Generation Manual (9 th Edition)								

Existing Plus Project Traffic Conditions

As indicated in Table 4-3, when traffic generated by the proposed project is added to the existing traffic volumes, there would be no significant changes in the Volume-to-Capacity (V/C) ratios or Highway Capacity Manual (HCM) delay values when compared to the existing conditions. The Los Alamitos Boulevard/Cerritos Avenue intersection will continue to operate at LOS F during the p.m. peak hour; however, project-related traffic would not add substantially (V/C increase of 0.004) to that intersection's operating conditions and, therefore, would not result in a potentially significant impact. Furthermore, due to the decrease in traffic associated with the revised project, the increase in the V/C would be less when compared to the original project. As indicated in this table, both driveway entrances would also operation at acceptable levels of service (i.e., LOS A and LOS B)

Notice of Exemption

Table 4-3
Existing Plus Project Traffic

Key Study Intersection	Traffic Control	Time Period	Existing Traffic Conditions		Existing Plus Project Traffic		Impact Yes/No
			V/C ¹ or HCM ² /WM ³	LOS ⁴	V/C ¹ or HCM ² /WM ³	LOS ⁴	
Los Alamitos Boulevard/ Cerritos Avenue	Signalized	AM	0.891	D	0.895	D	No
		PM	1.012	F	1.016	F	No
Los Alamitos Boulevard/ Briggeman Drive	Signalized	AM	0.719	C	0.740	C	No
		PM	0.710	C	0.745	C	No
Los Alamitos Boulevard/ Serpentine Drive	Unsignalized	AM	26.3/WB	D	29.9/WB	D	No
		PM	30.6/WB	D	32.5/WB	D	No
Los Alamitos Boulevard/ Florista Street	Signalized	AM	0.719	C	0.719	C	No
		PM	0.608	B	0.608	B	No
Los Alamitos Boulevard/ Katella Avenue	Signalized	AM	0.873	D	0.873	D	No
		PM	0.814	D	0.814	D	No
Site Access/Serpentine Drive	Unsignalized	AM	--	--	9.6/SB	A	No
		PM	--	--	9.9/SB	A	No
Site Access/Briggeman Drive	Unsignalized	AM	--	--	10.6/NB	B	No
		PM	--	--	11.9/NB	B	No

¹Volume-to-capacity ratio.
²Average delay per vehicle in seconds
³Worst movement reported for unsignalized intersections.
⁴Level of service (LOS) as defined by the 2010 Highway Capacity Manual.

Bold – Unacceptable level of service.

SOURCE: Transpogroup (June 2015; Updated September 23, 2015)

Buildout (2017) Traffic Conditions

The “buildout” scenario of the proposed project analyzes year 2017 traffic conditions without and with the proposed project. As indicated in Table 4-4, four of the five key study intersections will continue to operate at acceptable levels of service (i.e., LOS D or better). However, the Los Alamitos Boulevard/Cerritos Avenue intersection would operate at unacceptable levels of service during both peak hour traffic periods without the addition of project-related traffic. When the traffic generated by the proposed project is added to the 2017 traffic, the V/C ratios during the AM and PM peak hours would increase by 0.003 and 0.004, respectively. Based on City’s significance criteria, the increase caused by project-related traffic would not be significant because it is less than the 0.01 criterion. Therefore, no significant impacts would occur as a result of project implementation.

Notice of Exemption

**Table 4-4
Buildout (2017) Traffic Conditions**

Key Study Intersection	Traffic Control	Time Period	2017 Traffic Without Project		2017 Traffic With Project Traffic		Impact Yes/No
			V/C ¹ or HCM ² /WM ³	LOS ⁴	V/C ¹ or HCM ² /WM ³	LOS ⁴	
Los Alamitos Boulevard/ Cerritos Avenue	Signalized	AM	0.907	E	0.911	E	No
		PM	1.031	F	1.034	F	No
Los Alamitos Boulevard/ Briggeman Drive	Signalized	AM	0.732	C	0.753	C	No
		PM	0.759	C	0.758	C	No
Los Alamitos Boulevard/ Serpentine Drive	Unsignalized	AM	27.1/WB	D	31.0/WB	D	No
		PM	31.6/WB	D	34.2/WB	D	No
Los Alamitos Boulevard/ Florista Street	Signalized	AM	0.731	C	0.738	C	No
		PM	0.619	B	0.627	B	No
Los Alamitos Boulevard/ Katella Avenue	Signalized	AM	0.889	D	0.890	D	No
		PM	0.839	D	0.833	D	No
Site Access/Serpentine Drive	Unsignalized	AM	--	--	9.6/SB	A	No
		PM	--	--	9.9/SB	A	No
Site Access/Briggeman Drive	Unsignalized	AM	--	--	10.6/NB	B	No
		PM	--	--	12.0/NB	B	No

¹Volume-to-capacity ratio.
²Average delay per vehicle in seconds
³Worst movement reported for unsignalized intersections.
⁴Level of service (LOS) as defined by the 2010 Highway Capacity Manual.

Bold – Unacceptable level of service.

SOURCE: Transpogroup (June 2015; Updated September 23, 2015)

Project Access

Access to the previous project was provided via one full-access driveway on Briggeman Avenue and two full-access driveways on Serpentine Drive. The current site plan (provided as an attachment), proposes to provide access to the site using the same driveways as the previous plan. The driveway on Briggeman Avenue and the west driveway on Serpentine Drive were evaluated in the TIA and found to operate acceptably with the proposed project. Because the current project would generate fewer trips, the project driveways would also operate acceptably with the currently proposed project.

Conclusion

As discussed previously, the currently proposed project would generate 455 fewer daily, 42 fewer AM peak hour and 29 fewer PM peak hour vehicle trips than the previous project. Therefore, the increase in the V/C ratio at study intersections would be less with the original project than with the previous project analyzed in the TIA. Because no significant project impacts were identified for the previously proposed project, the current project also would not result in any significant impacts to the roadway network.

Notice of Exemption

5. The Project Will Not Result in Significant Air Quality/Greenhouse Gas Impacts

Air Quality

A detailed air quality/greenhouse gas analysis (GHG) was prepared to analyze the short- and long-term air pollutant and GHG emissions that would be generated by the proposed project. It is important to note that the air quality analysis is based on the development of a 111-room hotel and an 1,800 square foot fast food restaurant. Subsequent to the preparation of the air quality analysis, the project was revised to eliminate the fast food restaurant and the number of hotel rooms has been reduced to 108. As a result, the analysis reflects a "worst case" analysis because emissions associated with the fast food restaurant would not occur.

Construction Emissions

Project-related regional pollutant emissions will occur as a result of both short-term (i.e., construction-related) and long-term (i.e., operational) activities. Short-term, construction emissions occur as a result of using both on-and off-road heavy construction vehicles and equipment. The worst-case daily construction-related criteria pollutant emissions from the proposed project for each phase of construction activities are shown below in Table 5-1. As indicated in Table 5-1, none of the SCAQMD significance thresholds will be exceeded during all of the construction phases. As a result, regional construction impacts will be less than significant.

**Table 5-1
Worst-Case Construction-Related Pollutant Emissions**

Construction Activity	Construction Emissions (lbs/day)					
	VOC	NOx	CO	SO ₂	PM ₁₀	PM _{2.5}
Site Preparation						
On-Site	2.70	30.82	18.06	0.02	2.13	1.46
Off-Site	0.09	0.57	1.15	0.00	0.14	0.04
Total	2.79	31.39	19.21	0.02	2.27	1.50
Grading						
On-Site	2.85	29.95	19.63	0.02	4.22	2.85
Off-Site	0.09	0.58	1.25	0.00	0.16	0.05
Total	2.94	30.53	20.88	0.02	4.38	2.90
Building Construction						
On-Site	3.70	24.63	16.72	0.02	1.63	1.56
Off-Site	0.52	2.74	6.94	0.00	0.99	0.30
Total	4.22	27.37	23.66	0.02	2.62	1.86
Paving						
On-Site	2.04	18.93	12.14	0.02	1.13	1.04
Off-Site	0.05	0.07	0.82	0.00	0.17	0.05
Total	2.09	18.00	12.96	0.02	1.30	1.09
Architectural Coatings						
On-Site	69.07	2.37	1.88	0.00	0.20	0.20
Off-Site	0.05	0.07	0.77	0.00	0.16	0.04
Total	69.12	2.44	2.65	0.00	0.36	0.24
SCAQMD Threshold	75	100	550	150	150	55
Exceeds Threshold (Yes/No)	No	No	No	No	No	No
SOURCE: Vista Environmental (June 15, 2015)						

Notice of Exemption

In addition to regional construction emissions, local air pollutant emissions were also estimated utilizing the Locally Significant Thresholds (LST) methodology, which assesses NO_x, CO, PM₁₀ and PM_{2.5}. The construction emissions for these pollutants at the nearest receptors are summarized in Table 5-2. As indicated in the table, none of the LSTs are exceeded during any of the construction phases. Therefore, no significant impacts will occur as a result of project-related construction activities.

**Table 5-2
Local Criteria Pollutant Construction Emissions at Nearest Receptors**

Construction Activity	Construction Emissions (lbs/day)			
	NO _x	CO	PM ₁₀	PM _{2.5}
Site Preparation ¹	30.82	18.06	2.13	1.46
Grading ¹	29.95	19.63	4.22	2.85
Building Construction	24.63	16.72	1.63	1.56
Paving	17.93	12.14	1.13	1.04
Architectural Coatings	2.37	1.88	0.20	0.20
SCAQMD Threshold²	115	715	30	9
Exceeds Threshold (Yes/No)	No	No	No	No

¹Based on adherence to fugitive dust suppression requirements from SCAQMD Rule 403.
²PM10 and PM2.5 thresholds are based on 84 meters, which is the distance to the nearest homes to the west. NO_x and CO thresholds are based on 25 meters, since all receptors closer than 25 meters are based on the 25 meter threshold and the nearest off-site workers are adjacent to the east side of the project site.

SOURCE: Vista Environmental (June 15, 2015)

The greatest potential for toxic air contaminant emissions would be related to diesel particulate emissions associated with heavy equipment operations during construction of the proposed project. According to SCAQMD's methodology, health effects from carcinogenic air toxics are usually described in terms of "individual cancer risk". "Individual Cancer Risk" is the likelihood that a person exposed to concentrations of toxic air contaminants over a 70-year lifetime will contract cancer, based on the use of standard risk-assessment methodology. Given the relatively limited number of heavy-duty construction equipment and the short-term construction schedule, the proposed project would not result in a long-term (i.e., 70 years) substantial source of toxic air contaminant emissions and corresponding individual cancer risk. Therefore, no significant short-term toxic air contaminant impacts would occur during construction of the proposed project.

Operational Emissions

The operations-related regional criteria air quality impacts created by the proposed project were also analyzed. The worst-case summer or winter VOC, NO_x, CO, SO₂, PM₁₀, and PM_{2.5} daily criteria pollutant emissions created from the proposed project's long-term operations have been calculated and are summarized below in Table 5-3. Since the proposed project would result in 455 fewer daily vehicle trips than the original project and mobile sources account for between 57 and 98 percent of the criteria pollutant and GHG emissions created from operation of the proposed project, the proposed project would result in less criteria pollutant emissions than what was calculated for the original project. As a result, the project-related mobile-source emissions generated by the project would be less than those reflected in the table, which are

Notice of Exemption

less than the applicable SCAQMD significance thresholds. Therefore, the proposed project-related operational emissions are less than significant as well.

**Table 5-3
Operational Regional Criteria Air Pollutant Emissions**

Construction Activity	Construction Emissions (lbs/day)					
	VOC	NOx	CO	SO ₂	PM ₁₀	PM _{2.5}
Area Sources ¹	4.32	0.00	0.02	0.00	0.00	0.00
Energy Usage ²	0.18	1.68	1.41	0.01	0.13	0.13
Mobile Sources ³	6.04	9.64	47.87	0.11	7.60	2.11
Total Emissions	10.54	11.32	49.30	0.12	7.73	2.24
SCAQMD Threshold	55	55	550	150	150	55
Exceeds Threshold (Yes/No)	No	No	No	No	No	No
¹ Includes emissions from consumer products, architectural coatings, and landscaping equipment. ² Includes emissions from natural gas usage. ³ Includes emissions from vehicles and road dust. SOURCE: Vista Environmental (June 15, 2015)						

The local air quality emissions from on-site operations were analyzed using the SCAQMD's Mass Rate LST Look-up Tables and the methodology described in Locally Significant Thresholds (LST) Methodology. The Look-up Tables were developed by the SCAQMD in order to readily determine if the daily emissions of CO, NOx, PM₁₀, and PM_{2.5} from the proposed project could result in a significant impact to the local air quality. Table 5-4 shows the onsite emissions that include area sources, energy usage, and vehicles operating on-site and the calculated emissions thresholds. As indicated in the table, none of the local air quality emissions are projected to exceed the LST thresholds. Therefore, potential impacts would be less than significant.

**Table 5-4
Local Operations Criteria Pollutant Emissions at the Nearest Homes**

Construction Activity	Construction Emissions (lbs/day)			
	NOx	CO	PM ₁₀	PM _{2.5}
Area Sources	0.00	0.02	0.00	0.00
Energy Usage	1.68	1.41	0.13	0.13
Onsite Vehicle Emissions ¹	1.21	5.98	0.95	0.27
	2.89	7.41	1.08	0.41
SCAQMD Threshold²	115	715	30	9
Exceeds Threshold (Yes/No)	No	No	No	No
¹ Based on 1/8 of the gross vehicular emissions, which is the estimated portion of vehicle emissions occurring within a quarter of a mile of the project site. ² PM ₁₀ and PM _{2.5} thresholds are based on 84 meters, which is the distance to the nearest homes to the west. NOx and CO thresholds are based on 25 meters, since all receptors closer than 25 meters are based on the 25 meter threshold and the nearest off-site workers are adjacent to the east side of the project site. SOURCE: Vista Environmental (June 15, 2015)				

Notice of Exemption

Consistency with the Air Quality Management Plan

As indicated previously, the project site is currently designated as Retail Business in the General Plan and is zoned General Commercial (C-G). As such, the proposed project is consistent with the current land use designation and would not require a General Plan Amendment or zone change. Therefore, the proposed project would not result in an inconsistency with the current land use designation. Furthermore, the proposed project is not anticipated to exceed the AQMP assumptions for the project site and is found to be consistent with the AQMP for the Air Basin.

Conclusion

The air quality analysis prepared for the proposed project revealed that development of the 2.23-acre site as proposed with a 108-room hotel would not result in any potentially significant short-term or long-term air quality impacts. Local and regional air pollutant emissions, toxic air contaminant emissions, odors, and local CO hotspots would be less than significant. Furthermore, the proposed project is consistent with the AQMD for the South Coast Air Basin. Therefore, no significant air quality impacts will occur as a result of project implementation.

Greenhouse Gas

In addition to air quality impacts, potential project-related impacts resulting from GHG emissions from the project were also analyzed. As indicated for air quality, the project-related GHG emissions are based on the same project parameters as indicated previously, including a 111-room hotel and an 1,800 square foot fast food restaurant. However, the fast food restaurant has been eliminated and is no longer part of the project and the hotel has been reduced to 108 rooms. Therefore, potential GHG emissions identified and described below reflect an overestimation (i.e., "worst case" analysis) of the emissions caused by the project.

The proposed project would not generate GHG emissions, either directly or indirectly, that may have a significant impact on the environment. As indicated above, the proposed project would result in the development of a 108 room hotel with a pool and breakfast area and a 112-space parking lot. The proposed project is anticipated to generate GHG emissions from area sources, energy usage, mobile sources, waste disposal, water usage, and construction equipment.

The project's GHG emissions have been calculated based on the parameters identified above for construction emissions and for operational emissions. A summary of the results is shown below in Table 5-5. As indicated in that the table, the proposed project would create 2,264.78 MTCO₂e per year. According to the SCAQMD draft threshold of significance, a cumulative global climate change impact would occur if the GHG emissions created from the on-going operations of the proposed development would exceed 3,000 MTCO₂e per year. Therefore, a less than significant generation of greenhouse gas emissions would occur from development and operation of the proposed project.

Notice of Exemption

**Table 5-5
Greenhouse Gas Annual Emissions**

Construction Activity	Greenhouse Gas Emissions (Metric Tons/Year)					
	Bio-CO ₂	NonBio-CO ₂	Total CO ₂	CH ₄	N ₂ O	CO ₂ e
Area Sources ¹	0.00	0.01	0.01	0.00	0.00	0.01
Energy Usage ²	0.00	819.21	819.21	0.03	0.01	823.14
Mobile Sources ³	0.00	1,254.28	1,254.28	0.05	0.00	1,255.36
Solid Waste ⁴	16.54	0.00	16.54	0.98	0.00	37.08
Water and Wastewater ⁵	1.07	13.63	14.70	0.11	0.00	17.86
Construction ⁶	0.00	13.09	13.09	0.00	0.00	131.33
Total Emissions	17.61	2,100.22	2,117.83	1.17	0.01	2,264.78
SCAQMD Threshold						3,000
Exceeds Threshold (Yes/No)						No
¹ Includes emissions from consumer products, architectural coatings, and landscaping equipment. ² Includes emissions from electricity and natural gas usage. ³ Includes emissions from vehicles. ⁴ Includes CO ₂ and CH ₄ emissions created from the solid waste placed in landfills. ⁵ Includes GHG emissions from electricity used for transport of water and processing of wastewater. ⁶ Amortized over 30 years as recommended in the SCAQMD GHG Working Group on November 19, 2009. SOURCE: Vista Environmental (June 15, 2015)						

Conclusion

The proposed project would not conflict with any applicable plan, policy or regulation of an agency adopted for the purpose of reducing GHG emissions. The City of Los Alamitos does not yet have a Climate Action Plan or Greenhouse Gas Reduction Plan. Instead, the City relies on the expertise of the SCAQMD and utilizes the SCAQMD as guidance for the environmental review of plans and development proposals within its jurisdiction. Therefore, the SCAQMD's GHG emission threshold is applicable to the proposed project.

6. The Project Will Not Result in Significant Noise Impacts

Construction Noise Levels

The proposed project would result in potentially substantial temporary or periodic increases in ambient noise in the vicinity of the project as a result of construction activities associated with site development as proposed. The nearest off-site workers are located in the industrial building adjacent to the project's east property line and as near as 5 feet from the construction activities and nearest residents to the project are multiple-family dwelling units approximately 275 feet west of the project site. Potential noise levels during each phase of construction are summarized in Table 6-1. Although construction levels would reach 95 dBA in the vicinity of the nearest off-site worker, that level is less than the 105 dB OSHA threshold. Construction noise levels would reach 69 dB at the nearest residential dwelling unit during site preparation; however, that level is also less than the OSHA threshold. Therefore potential construction noise impacts would be less than significant. Furthermore, Section 17.24.020 of the Los Alamitos Municipal code exempts construction noise that occurs between 7:00 a.m. and 8:00 p.m. Monday through Saturday, excluding holidays, from stationary noise standards at nearby property lines for residential, commercial, and industrial uses.

Notice of Exemption

**Table 6-1
Worst-Case Construction Noise Levels at Nearest Receptors**

Construction Phase	Nearest Off-site Worker		Nearest Home		Threshold ¹ (dBA Leq)
	Source to Receptor Distance (feet)	Construction Noise Level (dBA Leq)	Source to Receptor Distance (feet)	Construction Noise Level (dBA Leq)	
Site Preparation	5	95	275	69	105
Grading	5	95	275	68	105
Building/Construction	35	74	305	67	90
Paving	5	89	280	65	90
Painting	35	88	305	58	90

¹Site Preparation and grading thresholds based on OSHA one-hour standard of 105 dB and thresholds for building construction, paving and painting activities based on OSHA eight-hour standard of 90 dB.

SOURCE: Vista Environmental (June 15, 2015; Revised September 30, 2015)

Construction Vibration

The nearest structure to the project site is an industrial building adjacent to the eastern property line and as near as 2 feet from construction activities and the nearest sensitive receptors to the project site are multi-family homes as near as 275 feet west of the project site. The primary source of vibration during construction would be from the operation of a bulldozer. A large bulldozer would create a vibration level of 0.089 inch per second peak particle velocity (PPV) at 25 feet.² Based on typical propagation rates, the vibration level at the nearest industrial building would be 1.43 inch per second PPV, which is within the 2.0 inch per second PPV threshold for structural damage to the industrial buildings. The vibration level at the nearest home would be 0.006 inch per second PPV and would be within the threshold of perception threshold of 0.25 inch per second PPV for transient sources. Therefore, a less than significant vibration impact is anticipated from construction of the proposed project.

Vehicular Noise Levels

Existing (ambient) noise levels in the project are range from 62.8 dBA CNEL to 67.7 dBA CNEL based on noise measurements taken in the project area. The existing noise levels are within the “normally compatible” noise levels standard for new hotels and “normally compatible” standard for new multiple-family residential dwelling units based on the “Land Use Compatibility for Community Noise Environments Matrix” developed by the Office of Noise Control of the California Department of Health Services and utilized by the City of Los Alamitos.

Table 6-2 summarizes the project-related noise level increases associated with the increase of traffic generated by the project when added to existing traffic volumes. As indicated in the table, project-related traffic would add 0.1 dBA along only four of the 15 roadway segments in the study area. Based on the increase thresholds, the addition of project-related traffic would not result in any potentially significant noise impacts.

²Federal Transit Administration (May 2006).

Notice of Exemption

**Table 6-2
Existing Plus Project Noise Levels**

Roadway Segment	dBA CNEL at Nearest Receptor ¹			Increase Threshold ²
	Existing	Existing Plus Project	Project Contribution	
Los Alamitos Boulevard				
North of Cerritos Avenue	63.1	63.1	0.0	+2 dBA
North of Briggeman Drive	64.5	64.6	0.1	+1 dBA
South of Briggeman Drive	58.3	58.4	0.1	+3 dBA
South of Serpentine Drive	58.4	58.5	0.1	+3 dBA
South of Florista Street	58.8	58.8	0.0	+3 dBA
South of Katella Avenue	67.5	67.5	0.0	+1 dBA
Cerritos Avenue				
West of Los Alamitos Boulevard	66.5	66.6	0.1	+1 dBA
East of Los Alamitos Boulevard	67.6	67.6	0.0	+1 dBA
Sausalito Street				
West of Los Alamitos Boulevard	54.3	54.3	0.0	+5 dBA
Florista Street				
West of Los Alamitos Boulevard	55.1	55.1	0.0	+3 dBA
East of Los Alamitos Boulevard	56.7	56.7	0.0	+3 dBA
Katella Avenue				
West of Los Alamitos Boulevard	68.3	68.3	0.0	+1 dBA
East of Los Alamitos Boulevard	63.1	63.1	0.0	+2 dBA
¹ Does not take into account existing noise barriers. ² Defined in <i>Transit Noise and Vibration Impact Assessment</i> (Federal Transit Administration 2006) for a moderate impact.				
SOURCE: Vista Environmental (June 15, 2015; Revised September 30, 2015)				

Potential noise impacts were also assessed for opening year (2017) anticipated for the proposed hotel. The results of the opening year noise analysis are summarized in Table 6-3. Similar to the existing plus project noise analysis, only five of the 15 roadway segments would experience an increase in noise levels; however, the increases would not exceed the increase thresholds recommended for the post-development noise levels. Therefore, project-related noise increases will be less than significant.

Notice of Exemption

**Table 6-3
Open Year 2017 Project Traffic Noise Contributions**

Roadway Segment	dBA CNEL at Nearest Receptor ¹			Increase Threshold ²
	2017 No Project	2017 Plus Project	Project Contribution	
Los Alamitos Boulevard				
North of Cerritos Avenue	63.2	63.2	0.0	+2 dBA
North of Briggeman Drive	64.6	64.6	0.0	+1 dBA
South of Briggeman Drive	58.4	58.5	0.1	+3 dBA
South of Serpentine Drive	58.5	58.6	0.1	+3 dBA
South of Florista Street	58.8	58.9	0.1	+3 dBA
South of Katella Avenue	67.6	67.6	0.0	+1 dBA
Cerritos Avenue				
West of Los Alamitos Boulevard	66.6	66.7	0.1	+1 dBA
East of Los Alamitos Boulevard	67.7	67.7	0.0	+1 dBA
Sausalito Street				
West of Los Alamitos Boulevard	54.3	54.3	0.0	+5 dBA
Florista Street				
West of Los Alamitos Boulevard	55.2	55.2	0.0	+3 dBA
East of Los Alamitos Boulevard	56.7	56.7	0.0	+3 dBA
Katella Avenue				
West of Los Alamitos Boulevard	68.3	68.4	0.1	+1 dBA
East of Los Alamitos Boulevard	63.1	63.1	0.0	+2 dBA
¹ Does not take into account existing noise barriers. ² Defined in <i>Transit Noise and Vibration Impact Assessment</i> (Federal Transit Administration 2006) for a moderate impact.				
SOURCE: Vista Environmental (June 15, 2015; Revised September 30, 2015)				

Stationary Noise

Section 17.24.050 of the Los Alamitos Municipal Code limits onsite noise sources to 55 dBA between 7:00 a.m. and 10:00 p.m. and 50 dBA between 10:00 p.m. and 7:00 a.m. at the nearby residential properties located as near as 275 feet west of the project site. Section 17.24.050 also limits onsite noise sources to 60 dBA at the nearby commercial retail uses located on the north and south of the project site and limits onsite noise sources to 70 dBA at the industrial uses that are adjacent to the project's eastern property line.

Potential noise impacts associated with rooftop mechanical equipment, parking lot activities, delivery truck activities, a drive-thru speaker, and pool activities have been estimated. The anticipated noise level from each source at the nearest homes, commercial and industrial uses and account for noise attenuation from existing noise barriers are reflected in Table 6-4. As indicated in the table, operational noise level increases associated with the proposed hotel would not result in any potentially significant noise impacts.

Notice of Exemption

**Table 6-4
Operational Noise Level at Nearby Sensitive Receptors**

Noise Source	Reference Noise Measurements		Noise Level (dBA Leq)		
	Distance-Receptor to Source (feet)	Noise Level (dBA Leq)	Nearest Homes ¹	Nearest Commercial ²	Nearest Industrial ³
Rooftop Equipment	10	66.6	37	48	54
Parking Lot	5	60.7	17	37	47
Truck Delivery	30	54.8	26	42	50
Drive-Thru Speaker	10	61.2	21	41	24
Pool Activities	15	66.6	27	43	46
Combined Noise Levels			37	50	56
City Noise Standards (Day/Night)			55/50	60	70
Exceed City Standards (Yes/No)			No	No	No
¹ Nearest homes to the project site are located on the east side of Chestnut Avenue as near as 275 feet west of the project site. ² Nearest commercial uses are located on the north and south sides of the project site and as near as 50 feet from the project site. ³ Nearest industrial uses are located adjacent to the eastern property line for the project site. Noise levels account for attenuation from 6-foot high wall on east side of project site.					
SOURCE: Vista Environmental (June 15, 2015; Revised September 30, 2015)					

Aircraft Noise

The nearest airport to the project site is the Los Alamitos Joint Forces Training Base (JFTB), which is approximately one mile to the southeast. The JFTB runways run in a southwest to northeast direction and run perpendicular to the project site. Due to the configuration of the JFTB runways, aircraft associated with the JFTB rarely fly over the project site and the project site is outside of the 65 dBA CNEL noise contour of the JFTB. Site observations during the noise measurements found that although aircraft noise is occasionally audible at the project site, the noise created by the aircraft is not loud enough to measurably increase the ambient noise levels, which is primarily created by the nearby roads. Impacts would be less than significant.

Conclusion

Project implementation will not result in any potential short-term or long-term noise impacts. Post-development noise levels are "normally compatible" to accommodate the proposed hotel. Both mobile- and stationary-source noise resulting from project implementation will be less than significant. In addition, groundborne vibration levels would also be less than significant and the project would not be adversely affected by aviation-related noise levels associated with operations at the Los Alamitos JFTB.

7. The Project Will Not Result in Significant Water Quality Impacts

Implementation of the project includes development of the 2.23-acre subject property with a Fairfield Inn & Suites development. The project environs are currently developed with a variety of land uses and structures, including primarily retail commercial, professional office, and industrial development. Project implementation will result in some grading that would expose the underlying soils to potential erosion that could affect water quality. Although project implementation may not result in any significant direct violations

Notice of Exemption

of water quality objectives as a result of the implementation of the requisite Best Management Practices (BMPs) pursuant to the WQMP, the potential erosion and short-term effects of the construction activities could adversely affect water quality. Implementation of the BMPs outlined in the preliminary WQMP will ensure that development of the site as proposed will not violate any discharge requirements established by the Regional Water Quality Control Board.

The project site ultimately drains to the Coyote Creek channel, which is listed on the 303(d) list for bacteria/pathogens, nutrients, pesticides, and toxicity. The applicable total maximum daily limit (TMDL) has been established for metals. The Preliminary WQMP includes non-structural source control BMPs as summarized in Table 7-1.

**Table 7-1
Non-Structural Source Control BMPs**

BMP No.	Name	Included	Not Applicable	Reason Why Not Applicable
N1	Education for Owner, Tenants, Employees and contractor	X		
N2	Activity Restrictions		X	No activity restrictions required
N3	Common Area Landscape Management	X		
N4	BMP Maintenance	X		
N5	Title 22 CCR Compliance (How development will comply)		X	No CCR for this project
N6	Local Industrial Permit Compliance		X	Project development is not industrial
N7	Il Contingency Plan		X	Proposed development does not include hazardous materials
N8	Underground Storage Tank Compliance	X		
N9	Hazardous Materials Disclosure Compliance		X	Proposed development does not include hazardous materials
N10	Uniform Fire code Implementation	X		
N11	Common Area Litter Control	X		
N12	Employee Training	X		
N13	Housekeeping of Loading Docks		X	Proposed development does not include a loading dock
N14	Common Area Catch Basin Inspection	X		
N15	Street Sweeping Private Streets and Parking Lots	X		
N16	Retail Gasoline Outlets		X	Proposed development does not include retail gasoline

SOURCE: Preliminary Water Quality Management Plan (Gil Zulueta Mendoza Associates, Inc. (April 2016)

In addition to the non-structural BMPs, the proposed project will also incorporate structural source control BMPs into the project design as reflected in Table 7-2. These features are also intended to reduce the potential for pollutant runoff from the proposed site.

Notice of Exemption

**Table 7-2
Structural Source Control BMPs**

BMP No.	Name	Included	Not Applicable	Reason Why Not Applicable
S1	Provide storm drain system stenciling and signage	X		
S2	Design and construct outdoor material storage areas to reduce pollution introduction		X	Proposed development does not include outdoor material storage areas
S3	Design and construct trash and waste storage areas to reduce pollution introduction	X		
S4	Use Efficient irrigation systems and landscape design	X		
S5	Protect slopes and channels and provide energy dissipation		X	Proposed development does not include slopes or channels
	Incorporate requirements applicable to individual project categories (from SDRWQCB Permit)	X		
S6	Dock areas	X		
S7	Maintenance bays		X	Proposed development does not include dock areas
S8	Vehicle wash areas		X	Proposed development does not include vehicle wash areas
S9	Outdoor processing areas		X	Proposed development does not include outdoor processing areas
S10	Equipment wash areas		X	Proposed development does not include equipment wash areas
S11	Fueling areas		X	Proposed development does not include fueling areas
S12	Hillside landscaping		X	Proposed development does not include hillside landscaping
S13	Waste water control for food preparation		X	Proposed development does not include waste water control
S14	Community car wash racks		X	Proposed development does not include community car was racks

SOURCE: Preliminary Water Quality Management Plan (Gil Zulueta Mendoza Associates, Inc. (April 2016)

Pollutants of concern for the project include suspended solid/sediments, nutrients, heavy metals, pathogens, pesticides, oil and grease, toxic organic compounds, and trash and debris. There are no environmentally sensitive and/or special biologically significant areas on the site or in the project area. In addition to the non-structural and structural BMPs identified previously, the proposed project will also incorporate biotreatment BMPs to treat the storm runoff prior to discharging it from the site. The proposed project site is divided into three drainage subareas (1A, 2B, and 3C). Drainage subarea 3C represents the northeast portion of the site which drains into a proposed underground infiltration pipe. Runoff in this drainage area is directed to and collected in drain inlets with filter inserts for pre-treatment prior to discharging into the underground infiltration pipe. Drainage subareas 1A and 2B represent the remaining areas of the site draining into bioretention areas with underdrains. A breakdown of each subareas is tabulated in the attached "WQMP Site

Notice of Exemption

Plan" (refer to Exhibit 7-1). Hydrologic source controls (HSCs) include localized on-lot infiltration and impervious area dispersion (e.g., roof top disconnection) to reduce surface runoff.

Project implementation will result in disturbance to the entire site. Development of the 2.23-acre site as proposed will create 80 percent impervious surfaces (e.g., surface parking, structures, etc.) and 20% pervious. The hotel building comprises approximately 15,716 square feet of the site while the remaining area will be constructed as parking lot and landscaped areas. Table 7-2 summarizes the post-development runoff volumes for the 10-, 25-, and 50-year storm events

**Table 7-3
Post-Development Runoff Characteristics**

Drainage Subarea	Area (Acres)	Percent Impervious	Percent Pervious	Q ₁₀ (cfs)	Q ₂₅ (cfs)	Q ₅₀ (cfs)
1A	0.96	76	24	2.29	2.88	3.37
2B	0.38	78.4	21.6	0.92	1.15	1.34
3C	0.89	84.3	15.7	2.49	3.04	3.51

SOURCE: Preliminary Water Quality Management Plan (Gil Zulueta Mendoza Associates, Inc. (April 2016)

The design capture volume (DCV) was also calculated for the three drainage subareas and it totals 7600.8 cubic feet, as reflected in Table 7-4. As indicated in the table, drainage subareas 1A and 2B will require approximately 2,700 and 1,120 square feet of detention area, respectively, in order to accommodate the DCV while 192 linear feet of perforated pipe will be necessary to accommodate the surface runoff in drainage area 3C prior to treatment.

**Table 7-4
Post-Development Design Capture Volume (DCV)**

Drainage Subarea	Area (Acres)	Percent Impervious	Percent Pervious	Design Capture Volume (cubic Feet)	Surface Area (Sq. Ft.) or Length of Pipe (Ft.)
1A	0.96	76	24	3,033.72	2,696.64
2B	0.38	78.4	21.6	1,258.23	1,118.43
3C	0.89	84.3	15.7	3,308.85	192 Feet
	2.23			7,600.80	

SOURCE: Preliminary Water Quality Management Plan (Gil Zulueta Mendoza Associates, Inc. (April 2016)

Post-development surface flows will be direct to the BMPs (i.e., bioretention with underdrains and perforated pipe and filters) and related features prior to entering the existing storm drainage system. A 21-inch storm drain on exists in Los Alamitos Boulevard that flows to the south. The existing storm drain on Sausalito consists of a catch basin at both the northeast and southeast curb returns that are connected via 18- and 21-inch storm drain laterals to the 21-inch storm drain on Los Alamitos Boulevard. Project implementation will include the construction of a new additional catch basin on Sausalito, which connect to the existing 21-inch storm drain on Sausalito. The existing and proposed storm drainage and proposed water quality features have adequate capacity to accommodate the design capture volume estimated for the project. No significant water quality impacts will occur as a result of project implementation.

Notice of Exemption

8. The Project Can Be Served By All Necessary Public Services and Utilities

Public Services

Fire Protection

Fire protection service in Los Alamitos is provided by the Orange County Fire Authority (OCFA). The OCFA currently operates and maintains three fire stations in the City. In addition, the Los Alamitos JFTB Fire Department fire station is located within the limits of that installation. Based on the analysis presented in the Los Alamitos General Plan Update EIR, adequate fire protection would continue to be provided based buildout of the City in accordance with the adopted General Plan. As indicated in the General Plan Update EIR, staffing levels for fire protection and emergency services in Los Alamitos would continue to be established by OCFA. OCFA would also maintain appropriate firefighter staffing to ensure compliance with the National Fire Protection Association standards for response time and coverage. Furthermore, policies and implementation programs in the proposed General Plan Update encourage maintaining staffing, facilities, and training activities to effectively respond to general and emergency public service calls. Furthermore, the project must comply with all regulatory requirements, including those mandated by the California Fire Code, and standard conditions required by the OCFA. Therefore, development of the project will not result in any potentially significant impacts on fire protection service in the City.

Police Protection

Law enforcement and police protection services in Los Alamitos are provided by the Los Alamitos Police Department. The City's General Plan Update recognized future development marked by an increase in population and employment-generating uses in some areas of the City, including the project site. As documented in the General Plan Update EIR, the Los Alamitos Police Department personnel and equipment are adequate to maintain the department's patrol minimums, which were established for safety and to ensure officer availability for expedited response times. The Los Alamitos police station, however, is experiencing some age-related infrastructure issues, and lacks adequate space for efficient operations and workflow. As laws and technology expand the scope of work performed by police personnel, additional space is needed for processing/retention of biological evidence and specialized equipment for officers. Implementation of the City's adopted General Plan would result in changes to the current policing facilities and personnel in the future that will ensure adequate law enforcement and police protection services are maintained. Any new facilities and services would be paid with revenue generated in the City and with impact and development fees that may be assessed to new development. As a result, project implementation would not result in any potentially significant impacts.

Schools

The proposed project includes non-residential development, which would not generate any school-age children. Nonetheless, the project would be subject to developer fees based on the most current fees mandated by SB 50 and implemented by the Los Alamitos Unified School District. As a result no directly project-related impacts will occur to schools.

Recreation

Project implementation does not include residential development and, therefore, would not create a demand for parks and/or public recreation. The proposed project would not have any impacts on parks and/or recreational facilities.

Notice of Exemption

Utilities

Domestic Water Services

The Golden State Water Company Orange County District West Orange System (GSWC) provides potable water to the City of Los Alamitos. The source of domestic water is groundwater (62 percent) and imported water from the Metropolitan Water District (MWD), which will continue through 2035. GSWC's distribution system includes 244 miles of water mains. Based on the GSWC 2010 Urban Water Master Plan (UWMP), water demand due to buildout of the General Plan would not require GSWC to obtain new or increased water supplies. Water demand for the City of Los Alamitos was estimated using the water demand SBX7-7 rates identified in GSWC's 2010 UWMP. As identified the General Plan Update, the General Plan Update would result in an increase in 192,262 gallons per day or 215 afy.³ The forecast net increase in water demands due to General Plan buildout is well within the forecast increase in GSWC water supplies from 2015 to 2035 (1,043 afy). While California currently faces very severe drought conditions, GWSC forecasts that it will have adequate water supplies to meet demands in single-dry-year and multiple-dry-year conditions from 2015 through 2035. Water demand due to General Plan buildout would not require GSWC to obtain new or increased water supplies, and impacts would be less than significant. Because the proposed project is consistent with the General Plan Land Use Element, potential water demands would be within the projections in the UWMP and buildout demands. The applicant will be required to obtain a "will serve" letter from the GWSC prior to issuance of a grading permit to ensure that adequate domestic water supplies are available to serve the site. Therefore, no significant impacts will occur as a result of project implementation.

Sewer Treatment and Disposal

The project site is located within the Rossmoor/Los Alamitos Area Sewer District (R/LAASD), which owns and maintains sewer mains in Los Alamitos Boulevard and Serpentine Avenue in the vicinity of the project site. In addition, the Orange County Sanitation District (OCSD) also maintains a regional collection and transmission trunk sewer in Los Alamitos that conveys raw sewage to OCSD Treatment Plant No. 2 in Huntington Beach to the south where primary and secondary treatment is provided prior to discharging the treated effluent into the Pacific Ocean for the existing ocean outfall. The General Plan Update assessed potential future buildout based on the adopted land uses and determined that while some additional sewer laterals would be required to be extended to future development such as the proposed project, there would be no significant impacts to sewer collection, conveyance and treatment facilities. The applicant will be required to obtain a "will serve" letter from the R/LAASD prior to issuance of a grading permit to ensure that adequate capacity is available to serve the site. Therefore, no significant impacts will occur as a result of project implementation.

Solid Waste Facilities

Consolidated Disposal collects solid waste in Los Alamitos under contract with the City. The majority of the solid waste landfilled from the City of Los Alamitos would continue to be disposed of at the Frank R. Bowerman Sanitary Landfill in the City of Irvine and the Olinda Alpha Sanitary Landfill near the City of Brea; both facilities are operated by OC Waste and Recycling. Bowerman Landfill, which is schedule to close in 2053, is permitted for 11,000 tons per day; Olinda Alpha Landfill is permitted to accept 8,000 tons per day and is scheduled to close in 2021. Solid waste generation in the City of Los Alamitos is projected to increase approximately 20 percent by 2035 (i.e., buildout), from 18,524 tons per day (including alternative daily cover) to 22,016 tons per day at buildout based on the adopted General Plan. The County's landfill capacity is adequate to accommodate buildout, including the proposed project which is consistent with the land use forecasts based on buildout of the General Plan. No significant impacts will occur as a result of project implementation.

³General Plan Update Final EIR; Table 5.12-3, *Forecast Water Demands by General Plan Buildout*.

Notice of Exemption

Lead Agency

Contact Person: _____

Area Code/Telephone/Extension _____

If filed by applicant:

1. Attached certified document of exemption finding.
2. Has a Notice of Exemption been filed by the public agency approving Project? Yes No

Signature: _____

Date: _____

Title: _____

Signed by Lead Agency

Signed by Applicant

Date received for filing at OPR: _____

RESOLUTION NO. 16-12

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LOS ALAMITOS, CALIFORNIA, APPROVING CONDITIONAL USE PERMITS (CUP) 16-04 & 16-05 TO ALLOW CONSTRUCTION OF A FOUR-STORY 61,643 SQUARE FOOT HOTEL WITH INCREASED BUILDING HEIGHT AT 10650 LOS ALAMITOS BOULEVARD, IN THE GENERAL COMMERCIAL (C-G) ZONING DISTRICT, APN 242-243-03, AND DIRECTING A NOTICE OF EXEMPTION BE FILED FOR A CATEGORICAL EXEMPTION FROM CEQA (APPLICANT: SHAMIR NARSAI – TRIPLE SONS INVESTMENTS, LLC)

WHEREAS, an application for a Conditional Use Permit was submitted for the construction of a hotel with increased height at 10650 Los Alamitos Boulevard, APN 242-243-03, on February 8, 2016; and,

WHEREAS, the verified application constitutes a request under Section 17.10.020 for a Conditional Use Permit for a hotel and increased height, Section 17.10.030 for height in excess of 40 feet, in the General Commercial (C-G) zone; and,

WHEREAS, the Planning Commission considered said application at a duly noticed public hearing on May 25, 2016 at which time it considered all of the evidence presented, both written and oral;

NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF LOS ALAMITOS DOES HEREBY RESOLVE AS FOLLOWS:

SECTION 1. The Planning Commission of the City of Los Alamitos, California, finds that the above recitals are true and correct.

SECTION 2. Conditional Use Permits 16-04 & 16-05 are hereby approved to allow the construction of a hotel, and at a height of 44' 9" for the hotel at 10650 Los Alamitos Boulevard as depicted on the Site Plans attached hereto as Exhibit B and subject to the conditions attached hereto as Exhibit A. This approval is based on the following findings set forth in the following sections which are supported by the evidence presented at the hearing, both written and oral, and the staff report which is incorporated herein by reference.

SECTION 3. Standard Conditional Use Permit Findings.

- A. The Marriott Fairfield Inn Hotel and its extended height, as proposed and conditioned, will not endanger the public health, or general welfare. The property is zoned for this type of hotel and the project complies with all applicable building and development codes. The project will not foster circumstances that tend to generate nuisance conditions such as noise, glare, odor, or vibrations because it is 265 feet from the nearest residence

and is consistent with the surrounding industrial and commercial uses. The nearby businesses are higher impact type businesses (shopping centers, industrial buildings, and lumber yards) and would not be impacted with approval of a hotel, or drive thru close to them.

- B. The Marriott Fairfield Inn Hotel and its extended height, as proposed and conditioned, meets all of the required conditions and specifications set forth in the zoning district where it is proposed to locate as this commercial development project complies with all of the development standards for the General Commercial (C-G) Zoning, with the exception of the height requirement for which a conditional use permit is being granted. The General Commercial Zone allows commercial uses that could by their nature result in more intense impacts to the area such as; shopping center(s), nightclubs, theaters (live entertainment-movie).
- C. The Marriott Fairfield Inn Hotel and its extended height, as proposed and conditioned, will be in harmony with the area in which it is to be located and in general conformity with the 2035 General Plan because the Marriott Fairfield Inn Hotel is compatible with the similar surrounding uses, and these types of projects are in fact intended to be built, in conformity with the City's General Plan, in this area, as more fully discussed below.

Moreover, this property was specifically identified as an Opportunity Site in the recently adopted General Plan Update and development is to complement the goals and policies of the General Plan and the downtown effort. With regard to the latter, the downtown is to be a walkable, human-scaled area in which to shop, work, eat and have time with friends and family. It is to provide a unique retail shopping environment. The proposed Project, is for a high-caliber Marriott Fairfield Inn Hotel which will provide a base of customers to stimulate and support thriving downtown businesses. The Site Plan that has been provided shows a pedestrian-friendly, well-landscaped development with trellises and benches for the public. The benefits that are expected to occur from this development will not happen without the quality tenant which has been proposed.

Applicable General Plan Implementing Goals and Policies	Consistency of Proposed Project
Land Use Element	
Goal 1: An attractive and pedestrian-friendly town center that serves as the heart of the community.	This new project can set a trend for a pedestrian-friendly downtown, such as that suggested in the Corridors project. The streetscape is inviting with its gazebos, benches, and enhanced flatwork.
Policy 1.1 Promote the development of a unique town center around Los Alamitos Boulevard, with spaces designed for community celebrations and events.	This project has pedestrian-friendly features. The hotel will bring in people who will help support other businesses that will make up a unique town center.
Policy 1.2 Invest in public improvements to	The project will create a pedestrian-friendly

transform Los Alamitos Boulevard into an attractive and pedestrian-friendly street.	environment with trellis and benches. Additionally, the project will dedicate right-of-way and realign the Biggeman/Los Alamitos intersection to create a more pedestrian-friendly environment.
Policy 1.3 Diverse businesses and activities. Attract and retain a variety of shopping, dining, and entertainment options for residents and visitors in the town center. Encourage the creation of daytime, nighttime, and weekend activity in the town center.	This is a project that would set a high bar for quality, commercial structures in the City. The layout creates a welcoming environment for people to walk in, walk out, and walk along the borders of the project. The project will place visitors in the downtown area to frequent surrounding businesses.
Goal 2: Fiscally sustainable growth and economic development through a balanced mix of land uses and development types.	Hotels are required to pay bed tax to the City which creates income for the City that is above and beyond ordinary sales tax.
Policy 1.6 Public art. Encourage the incorporation of art in public and private spaces that celebrates the community's history and imagines a greater future.	Staff has conditioned the project to invest in public art visible from Los Alamitos Blvd.
Economic Development Element	
Goal 1: Development patterns and a mix of uses that provide a fiscal balance sufficient to continue and increase public investment in the community's quality of life.	Staff believes that the high-quality services that this structure will provide are an exciting addition to the City. The requirement of the plan-presented Fairfield Inn to be the tenant has been conditioned for approval of the project.
Goal 4: An economic development mindset integrated throughout City Hall.	Staff has encouraged developers to explore the construction of this type of business to seek an appropriate site in the town, and believes that this project is a direct result of that encouragement.
Policy 4.1 Economic development responsibility. Promote an ethos in which economic development is the responsibility of each elected official, appointed official, and City employee.	Staff has encouraged developers to explore the construction of this type of business to seek an appropriate site in the town, and believes that this project is a direct result of that encouragement.
Open Space, Recreation, and Conservation Element	
Policy 3.2 Urban forest. Maintain and enhance a diverse and healthy urban forest on public and private lands. Incorporate and preserve mature and specimen trees at key gateways, landmarks, and public facilities.	49 new trees will be added by the project.
Policy 3.3 Landscaping. Establish and maintain attractive landscaping on public and private property visible to the public, including rights-of-way, freeways access points, building frontages, and trails.	The elevation provided from across Los Alamitos Boulevard (in the large set of plans) shows the proposed view from the Boulevard. This project would present an attractive, encouraging addition to the commercial areas along this corridor.
Policy 4.8 Stormwater management. Encourage the use of low impact development techniques that retain or mimic natural features for stormwater management.	This management is satisfied through requirement of the Water Quality Management Plan (WQMP).
Action 4.2 Construction activities. Encourage the use of best management practices during construction activities to reduce emissions of	These BMP's are all noted in the conditions.

criteria pollutants as outlined by the SCAQMD.	
Mobility and Circulation Element	
Action 1.11 New development. Require new development to finance and construct internal and adjacent roadway circulation and citywide improvements as necessary to mitigate project impacts, including roadway, transit, pedestrian, and bicycle facilities. Additional requirements could include transportation demand management programs.	Staff has added conditions to address each of these matters. Traffic fees are to be collected, bike racks added, the Applicant will dedicate land to widen Briggeman, repair sidewalks, underground utilities, and upgrade intersections and roadways surrounding the project.

The recommended findings are based on the quality of tenant (Marriott Fairfield Inn & Suites) that is identified for this project.

SECTION 4. Increased Height Findings. In addition to the findings made in Section 3 above, the Planning Commission hereby finds that it has considered the additional factors set forth in Section 17.10.030 and that such additional requirements have been met for the additional height:

- a. A structure with increased height shall be located at least 100 feet from a residential zoning district – This project 265 feet from the nearest residence.
- b. The Commission may require that vision into adjacent residences be limited from a structure with increased height – This is not an issue under any circumstance given the distance to the nearest residence.
- c. Open space shall constitute 10 percent of the total site area, in addition to the 15 percent required to be landscaped - Open space excluding building footprint & parking is 26,379 square feet which brings the total open space to 26%.
- d. The structure shall have no more gross floor area than could have been achieved if the structure were 40 feet or less in height. A four-story hotel at 40 feet would have the same gross floor area as this proposed project at approximately 45 feet. The subject property is designated Retail Business on the City's Land Use Policy Map and is further compatible with the adjacent industrial and commercial uses and will further be constructed in a manner to insulate various noises that could occur. Further, the use will serve the area medical community and provide a customer base for area shops and restaurant. The project does not exceed the maximum FAR in the land use category is 1.0 and the project has an FAR of .615.

SECTION 5. The Commission concurs with Staff's determination that the project qualifies for an Infill Exemption under CEQA based on the following from the City's CEQA Consultant:

The development of the proposed project by the applicant complies with the requirements prescribed in Section 15332 of the CEQA Guidelines for "in-fill" development. Specifically, the proposed project is: (1) consistent with the land use and zoning adopted for the site; (2) located within the City of Los Alamitos; (3) surrounded by development on all sides of the property; (4) less than five acres in size; (5) has no value as habitat for endangered and/or sensitive species; (6) will not result in significant noise, traffic, air quality or water quality impacts; and (7) can be served by the existing public services and utilities as discussed below.

SECTION 6. The Secretary of the Planning Commission shall forward a copy of this Resolution to the applicant and any person requesting the same, and Staff shall file the Notice of Exemption, attached hereto as Exhibit C, with the County Clerk.

PASSED, APPROVED, AND ADOPTED this 25th day of May, 2016, by the following vote:

Mary Anne Cuijly, Chair

ATTEST:

Steven A. Mendoza, Secretary

APPROVED AS TO FORM:

Lisa Kranitz, Assistant City Attorney

STATE OF CALIFORNIA)
COUNTY OF ORANGE) ss
CITY OF LOS ALAMITOS)

I, Steven Mendoza, Planning Commission Secretary of the City of Los Alamitos, do hereby certify that the foregoing Resolution was adopted at a regular meeting of Planning Commission held on the 25th day of May, 2016, by the following vote, to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

Steven A. Mendoza, Secretary