

# City of Los Alamitos

## Planning Commission

**Agenda Report**  
**Public Hearing**

**November 16, 2016**  
**Item No: 7B**

**To:** Chair Cuijty and Members of the Planning Commission

**Via:** Tom Oliver, Associate Planner

**From:** Steven A. Mendoza, Development Services Director

**Subject:** Conditional Use Permit (CUP) 16-14 – Wrought-iron Fences in the Community Facilities (C-F) Zone Around St. Hedwig School

**Summary:** Consideration of a Conditional Use Permit to allow seven foot tall wrought-iron fences with stacked stone columns to be constructed around St. Hedwig School for safety and security purposes, located at 3591 Orangewood Avenue, (APN 130-741-11) in the Community Facilities (C-F) Zoning District (Applicant: Erin Rucker, St. Hedwig School).

### **Recommendation:**

1. Open the Public Hearing; and,
2. Determine that the proposed use is exempt from the provisions of the California Environmental Quality Act (CEQA) pursuant to Categorical Exemptions Section 15301 (f) - *Existing Facilities* and Section 15303(e) *New Construction or Conversion of Small Structures*. An exemption will be prepared for the proposed project in accordance with the California Environmental Quality Act. The proposed fencing is on a property with an existing building, and will be used for the safety and security of children; and,
3. Adopt Resolution No. 16-29, entitled, "A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LOS ALAMITOS, CALIFORNIA, APPROVING WITH CONDITIONS A CONDITIONAL USE PERMIT (CUP 16-14) FOR SEVEN FOOT TALL WROUGHT-IRON FENCES WITH STACKED STONE COLUMNS TO BE CONSTRUCTED AROUND ST. HEDWIG SCHOOL FOR SAFETY AND SECURITY PURPOSES ON A 7.58 ACRE PARCEL AT 3591 ORANGEWOOD AVENUE (APN NO. 130-741-11) IN THE COMMUNITY FACILITIES (C-F) ZONING DISTRICT AND DIRECTING A NOTICE OF EXEMPTION BE FILED FOR A CATEGORICAL EXEMPTION FROM CEQA (APPLICANT: ERIN RUCKER, ST. HEDWIG SCHOOL)."

**Applicant:** Erin Rucker, St. Hedwig School

**Location:** 3591 Oranewood Avenue

**Environmental:** The proposed use is exempt from the provisions of the California Environmental Quality Act (CEQA) pursuant to Categorical Exemptions Section 15301(f) - *Existing Facilities* and Section 15303(e) *New Construction or Conversion of Small Structures*. An Exemption will be prepared for the proposed project in accordance with the California Environmental Quality Act. The proposed fencing is on a property with an existing building, and will be used for the safety and security of children.

**Noticing:** Notices announcing the Public hearing for November 16, 2016, were mailed to all property owners within 500 feet of the proposed location on November 2, 2016. A Public hearing notice regarding this meeting was also published in the News Enterprise on November 2, 2016.

**Approval Criteria:** Los Alamitos Municipal Code (LAMC), Section 17.12.010(8) (Community Facilities Zoning District) requires Planning Commission approval of a Conditional Use Permit for determining development standards in the C-F Zoning District.

<b>Permitting History:</b>	CUP 398-95	New snack bar
	CUP 363-93	Temp classrooms to permanent
	CUP 321-89	Construct maint. bldg. & temp classroom
	CUP 295-88	Alterations
	CUP 248-86	New church bldg., office bldg. & garage
	CUP 223-85	Sunscreen patio cover

## Background

A Conditional Use Permit (CUP) modification application has been filed by Erin Rucker of St. Hedwig School for the consideration of seven foot tall, wrought-iron fences with stacked stone columns to be constructed on the 7.58 acre parcel that is the location of St. Hedwig School. The purpose of the fences are for the safety and security of the students.

## **Discussion**

The St. Hedwig Church, school, and baseball fields are in one of the Community Facilities (C-F) zones of the City. Los Alamitos Municipal Code (LAMC), Section 17.12.010(B) (Community Facilities Zoning District) requires Planning Commission approval of a Conditional Use Permit for determining the development standards in this District.

## **Location**

The adjacent properties are developed with:

North: Single family homes across Oranewood Avenue in the Single Family Residential (R-1) Zoning District.

West: St. Hedwig Church and then Single family homes across Los Alamitos Blvd. in Rossmoor.

South: Good Shepherd Church in the C-F Zone and Single family residential homes in the R-1 Zone.

East: The Joint Forces Training Base.



## **Parking**

No removal of parking spaces is proposed and the project does not require additional parking spaces.

## **Recommendation**

There were no public comments received by Staff at the time this report was distributed to Commissioners. Due to the appropriate location, design and purpose of the fencing, Staff recommends approval of Conditional Use Permit 16-14, as conditioned.

Attachments: 1) Resolution No. PC 16-29, with Exhibit A

## RESOLUTION NO. 16-29

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LOS ALAMITOS, CALIFORNIA, APPROVING WITH CONDITIONS A CONDITIONAL USE PERMIT (CUP 16-14) FOR SEVEN FOOT TALL WROUGHT-IRON FENCES WITH STACKED STONE COLUMNS TO BE CONSTRUCTED AROUND ST. HEDWIG SCHOOL FOR SAFETY AND SECURITY PURPOSES ON A 7.58 ACRE PARCEL AT 3591 ORANGEWOOD AVENUE (APN NO. 130-741-11) IN THE COMMUNITY FACILITIES (C-F) ZONING DISTRICT, AND DIRECTING A NOTICE OF EXEMPTION BE FILED FOR A CATEGORICAL EXEMPTION FROM CEQA (APPLICANT: ERIN RUCKER, ST. HEDWIG SCHOOL).**

**WHEREAS**, this application for a Conditional Use Permit asks to allow seven foot tall wrought-iron fences with stacked stone columns to be constructed around St. Hedwig School for safety and security purposes on a 7.58 acre parcel at 3591 Oranewood Avenue in the Community Facilities (c-f) Zoning District; and,

**WHEREAS**, the application constitutes a request under Section 17.42.040 (Conditional Use Permits - Application Filing) of the Los Alamitos Municipal Code (LAMC); and,

**WHEREAS**, the Planning Commission considered said application at a duly noticed Public hearing on November 16, 2016; and,

**WHEREAS**, at this Public hearing, the Applicant, Applicant's representatives, and members of the public were provided the opportunity to present written and oral testimony.

**NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF LOS ALAMITOS, CALIFORNIA, DOES HEREBY RESOLVE AS FOLLOWS:**

**SECTION 1.** The above recitals are true and correct.

**SECTION 2.** Conditional Use Permit 16-14 is hereby approved for seven foot tall wrought-iron fences with stacked stone columns to be constructed around St. Hedwig School. This approval is based upon the following Conditional Use Permit findings and subject to the conditions set forth in Section 3:

1. The seven foot tall wrought-iron fences with stacked stone columns to be constructed around St. Hedwig School will not endanger the public health or general welfare. The use will not foster circumstances that tend to generate a nuisance as fences are expected around schools for keeping the children safe and secure.

2. The seven foot tall wrought-iron fences with stacked stone columns to be constructed around St. Hedwig School is a benefit for a community facility use. The fences can be conditionally permitted within this zoning district. This school that has been without this type of security measure for far too long.
3. The seven foot tall wrought-iron fences with stacked stone columns to be constructed around St. Hedwig School will be compatible with other uses located in the C-F Zoning District. The fences, while not expressly noted in the General Plan will be in general conformity with the Safety Element of the Los Alamitos General Plan.
4. The decision to approve the Conditional Use Permit is based on review by the Planning Commission of the plans and specifications submitted for the proposed project and on testimony given at the Public hearing before the Planning Commission.
5. The proposed use is exempt from the provisions of the California Environmental Quality Act (CEQA) pursuant to Categorical Exemptions Section 15301(f) – *Existing Facilities* and Section 15303(e) *New Construction or Conversion of Small Structures*. An Exemption will be prepared for the proposed project in accordance with the California Environmental Quality Act. The proposed fencing is on a property with an existing building, and will be used for the safety and security of children.

SECTION 3. The following conditions shall apply to this project:

**Planning Department**

1. Approval of this application is to allow seven foot tall wrought-iron fences with stacked stone columns to be constructed around St. Hedwig School at 3591 Oranewood Avenue in the Community Facilities (C-F) Zoning District with such additions, revisions, changes or modifications as required by the Planning Commission pursuant to approval of CUP 16-14 noted thereon, and on file in the Development Services Department (Exhibit A). Subsequent submittals for this project shall be consistent with such plans and in compliance with the applicable land use regulations of the Los Alamitos Municipal Code. If any changes are proposed regarding the location or alteration of this use, a request for an amendment of this approval must be submitted to the Development Services Director. If the Development Services Director determines that the proposed change or changes are consistent with the provisions and spirit of intent of this approval action, and that such action would have been the same with the proposed change or changes as for the proposal approved herein, the amendment may be approved by the Development Services Director without requiring a public meeting.

2. Any signs shall comply with the provisions under Chapter 17.28 of the Los Alamitos Municipal Code or any Planned Sign Program that pertains to the subject property and shall be subject to the approval of the Development Services Director.
3. Failure to satisfy and/or comply with the conditions herein may result in revocation by the Planning Commission and/or City Council of this approval.
4. The Applicant and the Applicant's successors, in interest, shall be fully responsible for knowing and complying with all conditions of approval.
5. California Government Section 66020(d)(1) requires that the project Applicant be notified of all fees, dedications, reservations and other exactions imposed on the development for purposes of defraying all or a portion of the cost of public facilities related to development. Fees for regulatory approvals, including Planning processing fees, building permit fees and park development fees, are not included under this noticing requirement.

Pursuant to Government Code Section 66020(d)(1), the Applicant is hereby notified that fees, dedications, reservations and other exactions imposed upon the development, which are subject to notification, are as follows:

Fees:	N/A
Dedications:	N/A
Reservations:	N/A
Other Exactions:	N/A

6. The Applicant has 90 days from the date of adoption of this Resolution to protest the impositions described above. The Applicant is also notified of the 180-day period from the date of this notice during which time any suit to protest impositions must be filed, and that timely filing of a protest within the 90-day period is a prerequisite.
7. The Applicant shall defend, indemnify, and hold harmless the City of Los Alamitos, its agents, officers, or employees from any claim, action or proceeding against the City or its agents, officers or employees to attack, set aside, void or annul an approval of the City, its legislative body, advisory agencies or administrative officers of the subject application. The City will promptly notify the Applicant of any such claim, action or proceeding against the City and the Applicant will either undertake defense of the matter and pay the City's associated legal costs, or will advance funds to pay for defense of the matter by the City. Notwithstanding the foregoing, the City retains the right to settle or abandon the matter without the Applicant's consent, but should it do so, the City shall waive the indemnification herein, except the City's decision

to settle or abandon a matter following an adverse judgment or failure to appeal, shall not cause a waiver of the indemnification rights herein.

8. The Property Owner/Applicant shall file an Acknowledgment of Conditions of Approval with the Development Services Department. The Property Owner/Applicant shall be required to record the Acknowledgment of these conditions of approval with the Office of the Orange County Recorder and proof of such recordation shall be submitted to the Development Services Department prior to issuance of any permits.
9. Applicant shall comply with applicable City, County, and/or State regulations.

**Building Department**

10. The Applicant shall obtain any required City permits and inspections for improvements which require this department's approval.

**Orange County Fire Authority**

11. Plan Submittal: The Applicant or responsible party shall submit the plan(s) listed below to the Orange County Fire Authority for review. Approval shall be obtained on each plan prior to the event specified.

***Prior to issuance of any permits or approvals:***

- gates (service code PR180)

SECTION 4. The Secretary of the Planning Commission shall forward a copy of this Resolution to the Applicant and any person requesting the same, and Staff shall file a Notice of Exemption with the County Clerk.

**PASSED, APPROVED, AND ADOPTED** this 16th day of November, 2016.

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Mary Anne Cuiilty, Chair

ATTEST:

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Steven Mendoza, Secretary

APPROVED AS TO FORM:

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Lisa Kranitz, Assistant City Attorney

STATE OF CALIFORNIA )  
COUNTY OF ORANGE ) ss.  
CITY OF LOS ALAMITOS )

I, Steven Mendoza, Planning Commission Secretary of the City of Los Alamitos, do hereby certify that the foregoing Resolution was adopted at a regular meeting of the Planning Commission held on the 16th day of November, 2016, by the following vote, to wit:

AYES:

NOES:

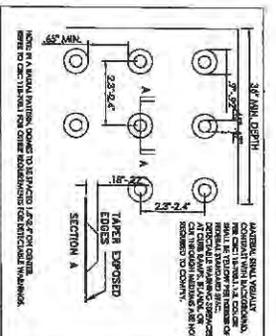
ABSENT:

ABSTAIN:

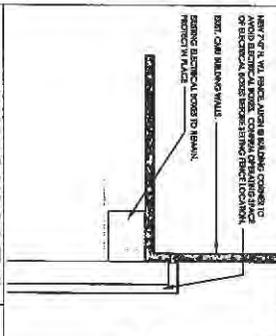
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Steven A. Mendoza, Secretary

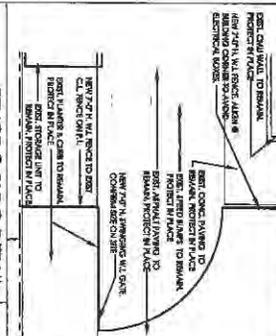




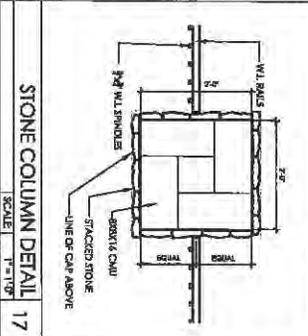
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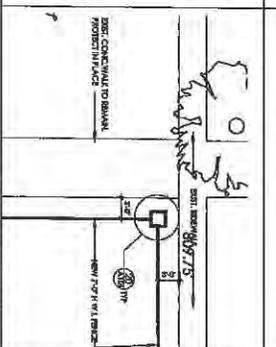
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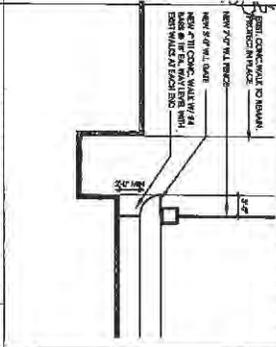
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**STONE COLUMN DETAIL**  
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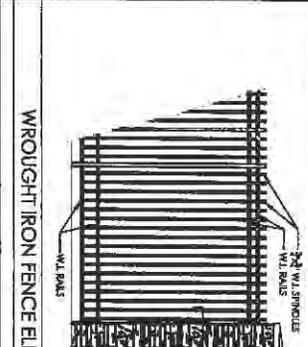
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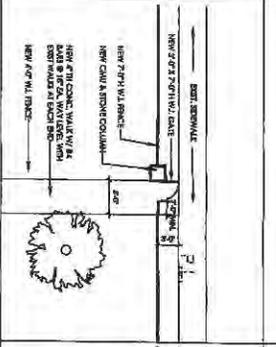
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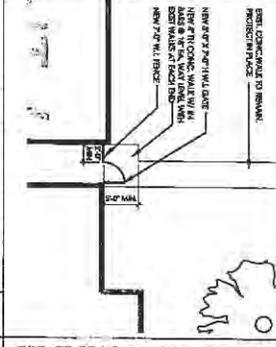
**FENCE & WALK DETAIL**  
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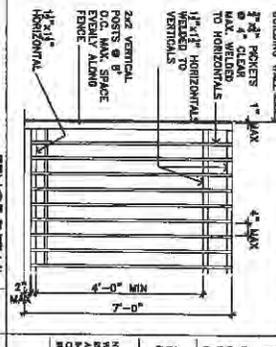
**WROUGHT IRON FENCE ELEVATION W/ STONE COLUMN**  
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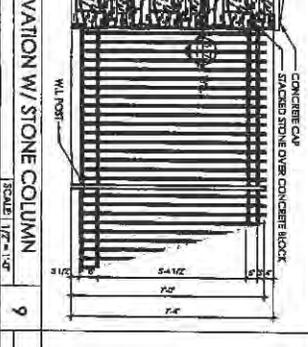
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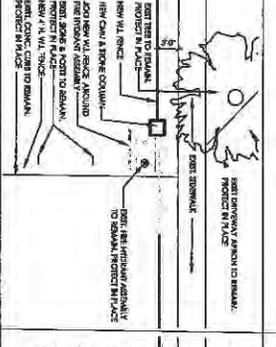
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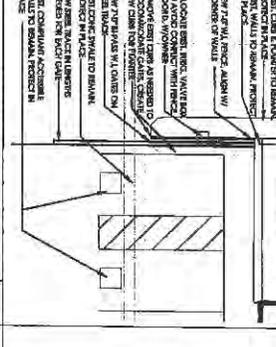
**FENCE & WALK DETAIL**  
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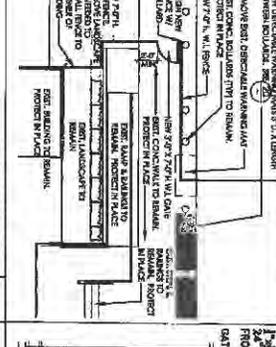
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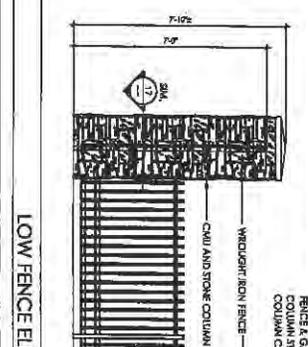
**FENCE & GATE DETAIL**  
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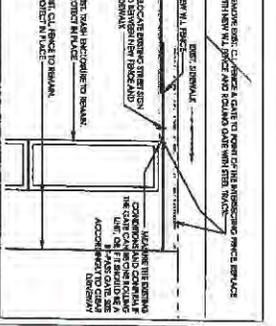
**FENCE & GATE DETAIL**  
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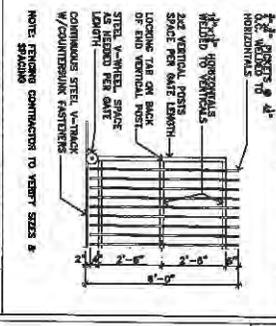
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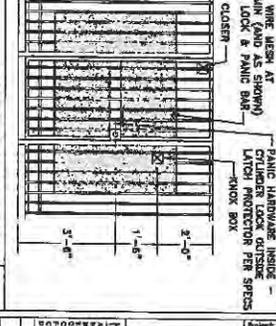
**LOW FENCE ELEVATION W/ STONE COLUMN**  
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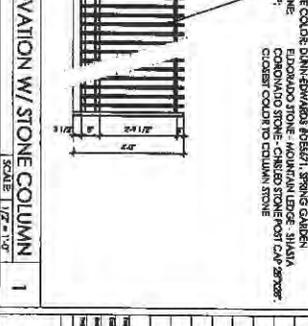
**W.I. ROLLING GATE DETAIL**  
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**ROLLING GATE DETAIL**  
SCALE: 1/8" = 1'-0"



**GATE / FENCE DETAIL**  
SCALE: 1/8" = 1'-0"



**FENCE & GATE DETAIL**  
SCALE: 1/8" = 1'-0"

**PUMP & PUMP**  
114 E. AVENUE  
MILPITAS, CALIFORNIA 95035  
Tel: 408.371.1111  
www.pumpandpump.com

**391**  
391 Orangetown Avenue  
Los Alamitos, CA 90720  
562.234.7000

New Property Fence for:  
**St. Hedwig School**  
3591 Orangetown Avenue  
Los Alamitos, CA 90720

**NOT FOR CONSTRUCTION**  
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**DETAILS**

1/8" = 1'-0"

**A102**



FENCE AND GATE COLOR



COLUMN CAP



COLUMN STONE

ST. HEDWIG SCHOOL  
LOS ALAMITOS

DATE: 09/07/2016



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DUNN EDWARDS DE5671

**COLUMN STONE**

ELDORADO STONE – MOUNTAIN LEDGE - SHASTA

**COLUMN CAP**

CORONADO STONE-- CHISLED STONE POST CAP 28 X 28- LIGHT GREY

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VILLAGE 605  
**LOS ALAMITOS**

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ENTITLEMENT SUBMITTAL | 10.10.2016



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A8	Conceptual Elevation - Major B Back of House - North
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CLP1.0	Conceptual Landscape Site Plan and Tree Demo Exhibit
CLP1.1	Conceptual Landscape Plan Plaza Enlargement
CLP1.2	Conceptual Landscape Entry Enlargement and Section
CLP1.3	Conceptual Landscape Plant Palette

## SHEET INDEX

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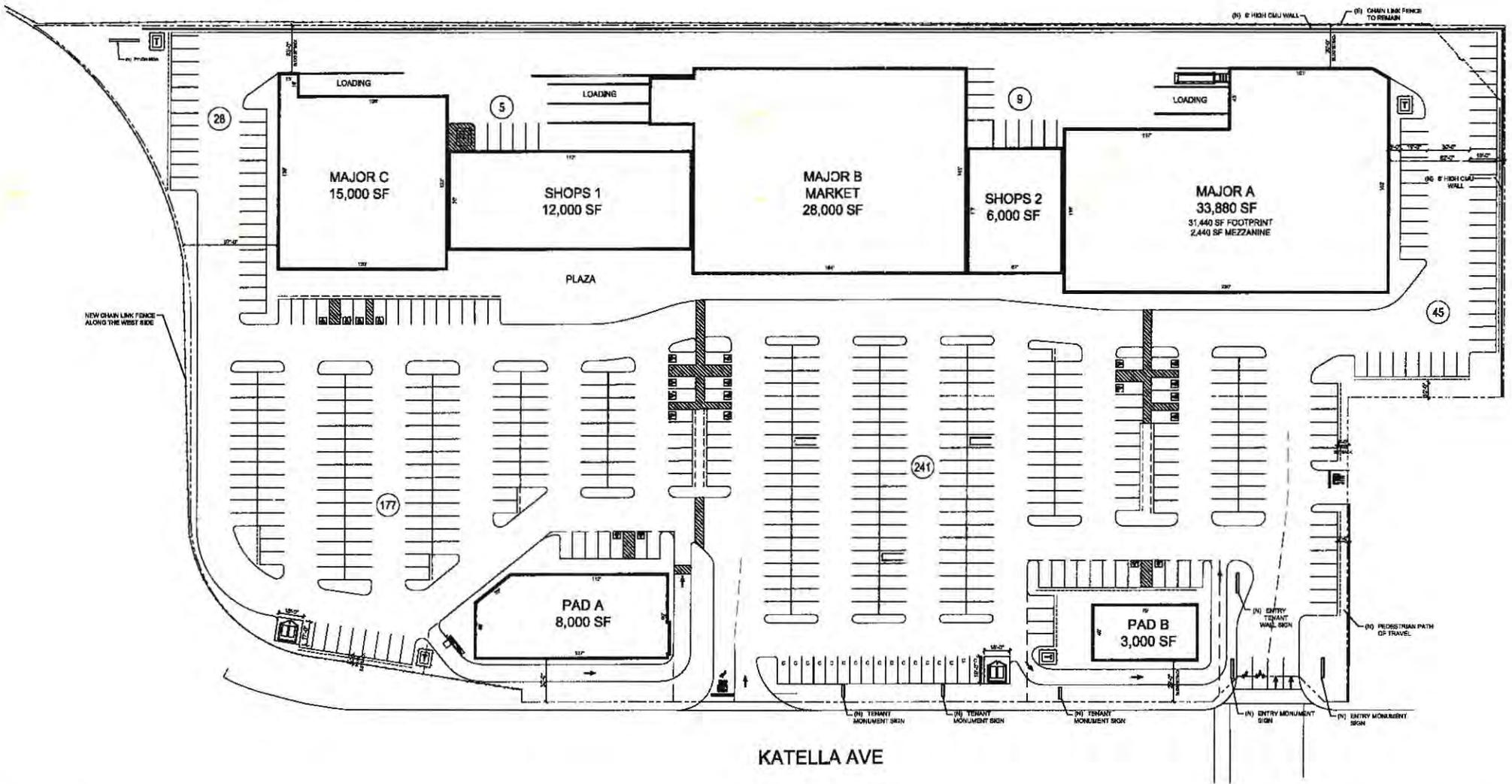
### LIGHTING

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LD-04	Site Illuminance Levels
LD-05	Facade Lighting Major A
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2.0	Sign Type B
3.0	Sign Type C
4.0	Sign Type D
5.0	Sign Type E
6.0	Sign Type F - Building Tenant ID
6.1	Sign Type F - Building Tenant ID Elevation
6.2	Sign Type F - Building Tenant ID Elevation

6.3	Sign Type F - Building Tenant ID Elevation
6.4	Sign Type F - Building Tenant ID Elevation
6.5	Sign Type F - Building Tenant ID Elevation
6.6	Sign Type F - Building Tenant ID Elevation
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7.1	Sign Type G - Secondary Tenant ID Elevation
7.2	Sign Type G - Secondary Tenant ID Elevation
8.0	Blade Sign (Typical)
9.0	Address Sign



ARCHITECTURAL SITE PLAN

LINCOLN  
PROPERTY  
COMPANY

village **203**

LOS ALAMITOS, CA  
SITE #154537  
DATE 04.16.18



KTGY Group, Inc.  
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Irvine, CA 92614  
949.851.2133  
ktgy.com



AI



OVERALL SOUTH ELEVATION

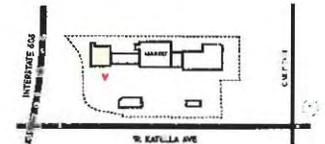


CONCEPTUAL ELEVATION - MAJOR C

LINCOLN  
PROPERTY  
COMPANY

village **KTGY**

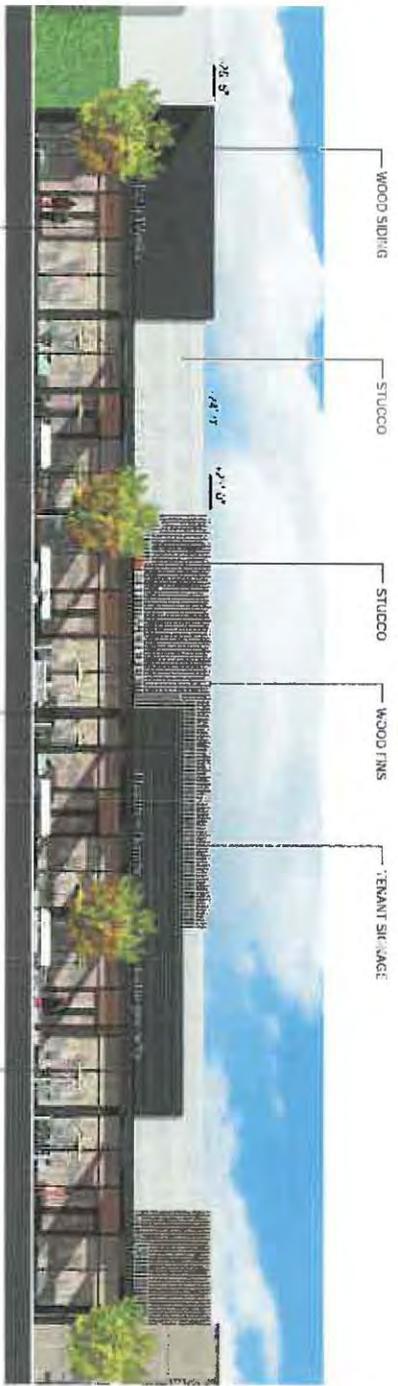
LOS ALAMITOS, CA  
KTGY #154332  
DATE 10.18.14



KTGY Group, Inc.  
Architecture+Planning  
17911 Van Karman Ave., Suite 200  
Irvine, CA 92614  
949.851.2133  
ktgy.com



OVERALL SOUTH ELEVATION



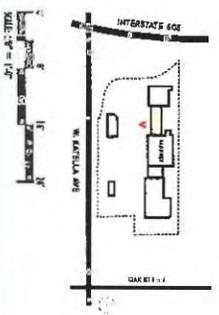
CONCEPTUAL ELEVATION - SHOPS |

villagegreen

LOS ANGELES, CA  
 1001 111111  
 ONE 111111

LINCOLN  
 PROPERTY  
 COMPANY

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 Irvine, CA 92614  
 949.585.1213  
 ktg.com



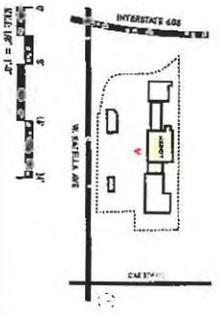
OVERALL SOUTH ELEVATION



CONCEPTUAL ELEVATION - MAJOR B - SOUTH



LOS ANGELES, CA  
 1001 W. 10TH ST.  
 90015



LINCOLN  
 PROPERTY  
 COMPANY

KTGY Group, Inc.  
 Architecture+Planning  
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 Irvine, CA 92614  
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OVERALL SOUTH ELEVATION



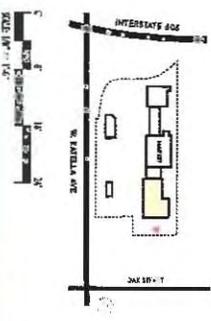
CONCEPTUAL ELEVATION - MAJOR A - OUTDOOR SALES AREA - EAST

LINCOLN  
PROPERTY  
COMPANY

village  
at  
ALAMITOS

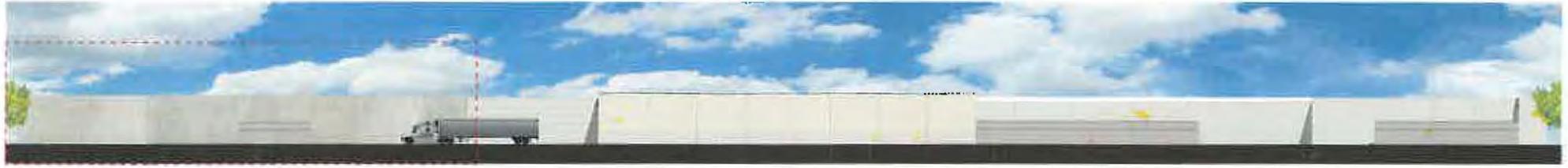
LOS ALAMITOS, CA  
PHASE #191823  
DATE 10/1/14

KTGY Group, Inc.  
Architecture+Planning  
17911 Von Karman Ave., Suite 200  
Irvine, CA 92614  
949.261.2133  
ktg@ktgy.com



A6



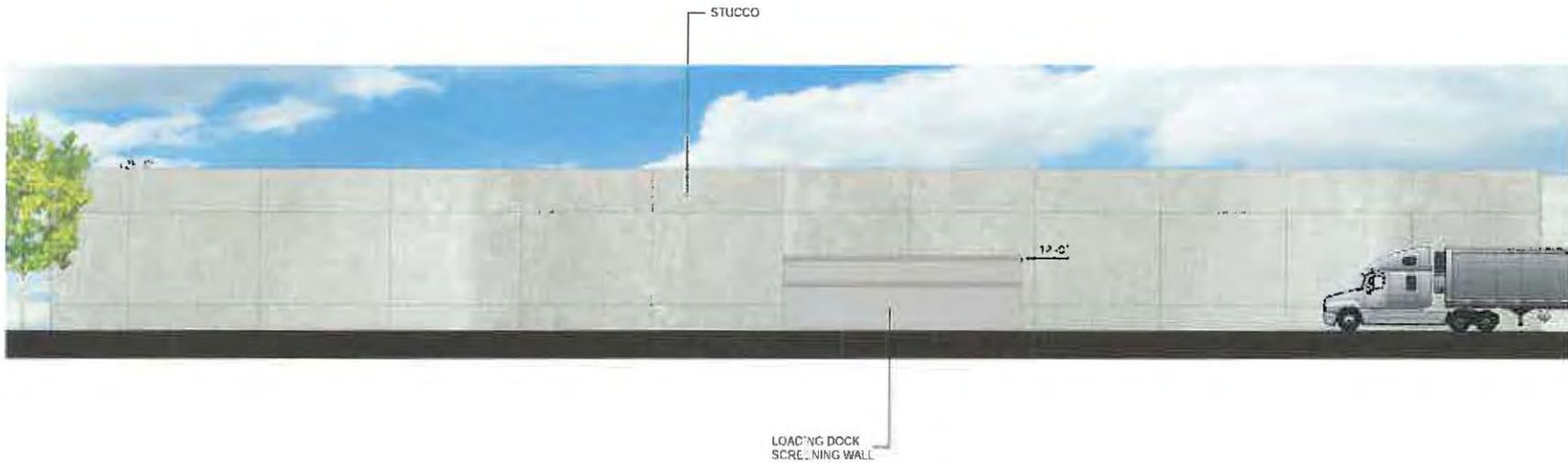


OVERALL NORTH ELEVATION

LOADING

LOADING

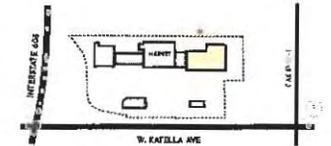
LOADING



STUCCO

12'-0"

LOADING DOCK  
SCREENING WALL



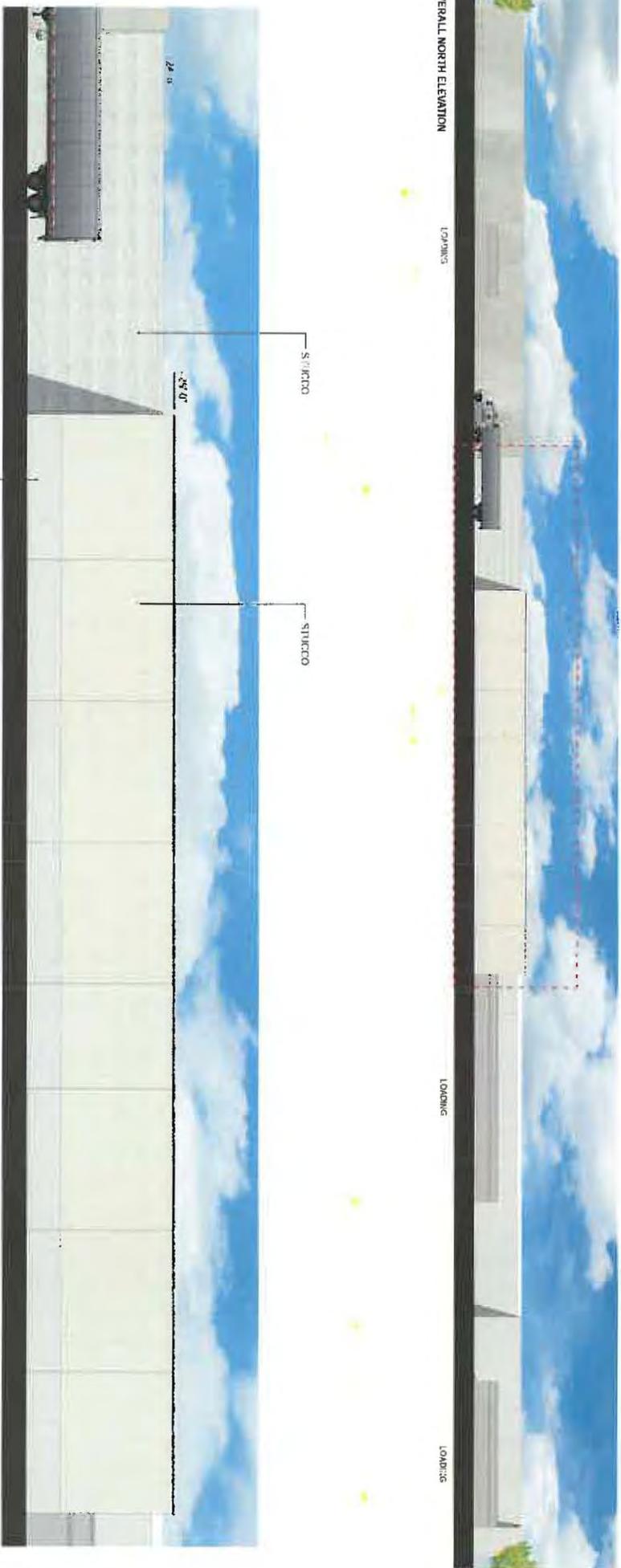
CONCEPTUAL ELEVATION - MAJOR A BACK OF HOUSE - NORTH

OVERALL NORTH ELEVATION

LOADING

LOADING

LOADING



CONCEPTUAL ELEVATION - MAJOR B BACK OF HOUSE - NORTH

villagecenter

LOT ALAMITOS, CA  
PLOT #31822  
DNE HILL 16

LINCOLN  
PROPERTY  
COMPANY

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Architecture+Planning  
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Irvine, CA 92614  
949.261.2133  
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A8

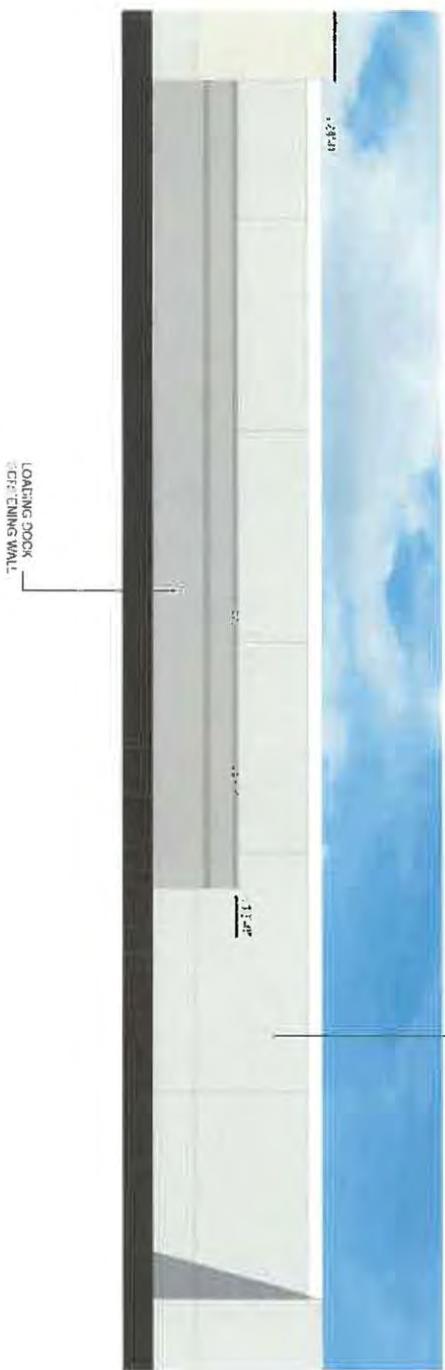


OVERALL NORTH ELEVATION

LOADING

LOADING

LOADING



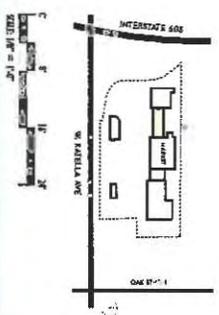
# CONCEPTUAL ELEVATION - SHOPS 1 + LOADING - NORTH

**LINCOLN**  
PROPERTY  
COMPANY

**village**  
CENTRAL

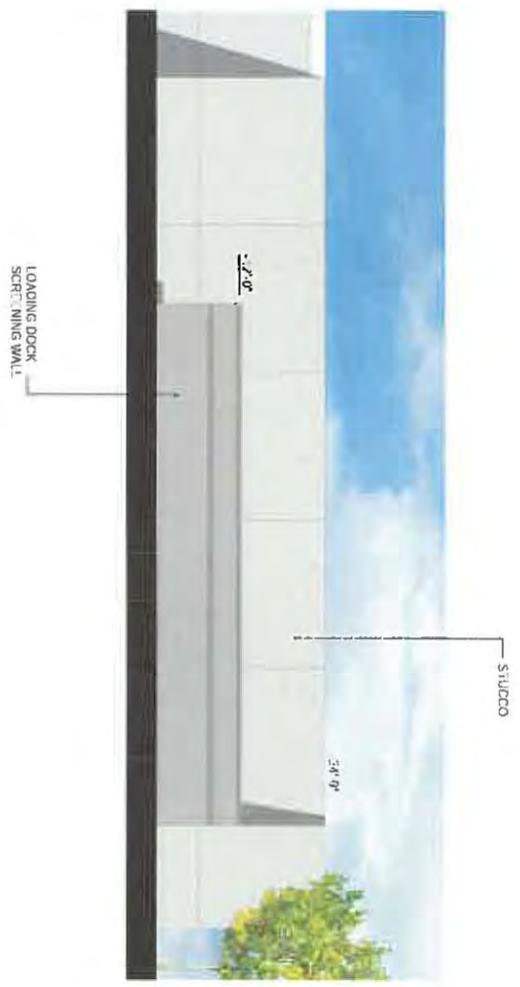
LOS ANGELES, CA  
KEY #15852  
DATE 10.1.18

KTGY Group, Inc.  
Architecture+Planning  
17811 Van Kernan Ave., Suite 200  
Beverly Hills, CA 90234  
310.551.2133  
ktgy.com



A9





CONCEPTUAL ELEVATION - MAJOR C + LOADING - NORTH

LINCOLN  
PROPERTY  
COMPANY

villagegreen  
LOS ANGELES, CA  
100 #19121  
ONE HILL

KTGY Group, Inc.  
Architecture+Planning  
17911 Von Karman Ave., Suite 200  
Irvine, CA 92614  
949.389.1213  
ktg.com

1" = 10' - 0"

INTERSTATE 405

VON KARMAN AVE

ONE HILL

A10

OVERALL NORTH ELEVATION

LOADING

LOADING

LOADING



STUCCO

GREEN WALL

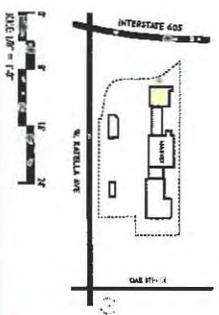
WOOD SIDING

# CONCEPTUAL ELEVATION - MAJOR C + LOADING - WEST

LINCOLN  
PROPERTY  
COMPANY

villageresti  
LLC

LOS ANGELES, CA  
BID #1583  
DNE 11/14/14



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Irvine, CA 92614  
949.251.2133  
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ALL





① NORTH ELEVATION

WOOD SIDING

STUCCO

STUCCO

② EAST ELEVATION

STUCCO



③ SOUTH ELEVATION

STUCCO

STUCCO

WOOD SIDING

④ WEST ELEVATION

WOOD SIDING

STUCCO

TENNANT SIGNAGE

STUCCO

CONCEPTUAL ELEVATION - PAD B

villagecenter

LOS ANGELES, CA  
 HIGHWAY 101  
 UNIT 1111A



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 Architecture+Planning  
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 Irvine, CA 92614  
 949.251.2133  
 ktgy.com





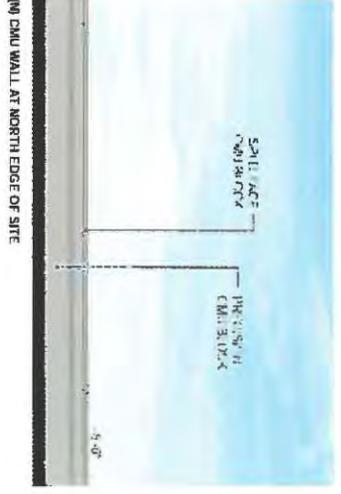
FRONT ELEVATION

RIGHT ELEVATION



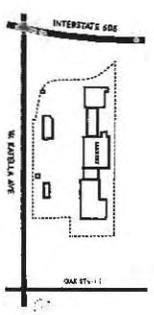
LEFT ELEVATION

BACK ELEVATION



(N) CMU WALL AT NORTH EDGE OF SITE

CONCEPTUAL ELEVATION - TRASH ENCLOSURE AND NEW CMU WALL





CONCEPTUAL RENDERING - AERIAL

LINCOLN  
PROPERTY  
COMPANY

villager  
by

LOS ANGELES, CA  
2017 #15632  
DIRE. 14.114

KTGY Group, Inc.  
Architecture+Planning  
17911 Van Kesteren Ave., Suite 200  
Irvine, CA 92614  
949.351.7133  
ktg.com



A15



CONCEPTUAL RENDERING - AERIAL

LINCOLN  
PROPERTY  
COMPANY

villagegreen

LOS ANGELES, CA  
POP 61982  
DENS 114/LA

KTGY Group, Inc.  
Architecture+Planning  
17911 Von Karmen Ave., Suite 200  
Irvine, CA 92614  
949.861.2133  
ktgy.com





CONCEPTUAL RENDERING - WHOLE FOODS - VIEW 1

LINCOLN  
PROPERTY  
COMPANY

villagegreen  
COMMUNITY

LOS ANGELES, CA  
NO. #19523  
BMT 14141

KTGY Group, Inc.  
Architecture+Planning  
17811 Van Korman Ave., Suite 200  
Irvine, CA 92614  
949.851.2733  
ktg.com





CONCEPTUAL RENDERING - WHOLE FOODS - VIEW 2

LINCOLN  
PROPERTY  
COMPANY

village

LOS ANGELES, CA  
PH #91922  
ONE MILLIKEN

KTGY Group, Inc.  
Architecture+Planning  
17971 Von Karman Ave., Suite 200  
Irvine, CA 92614  
949.261.2133  
ktgycan





CONCEPTUAL RENDERING - TWO

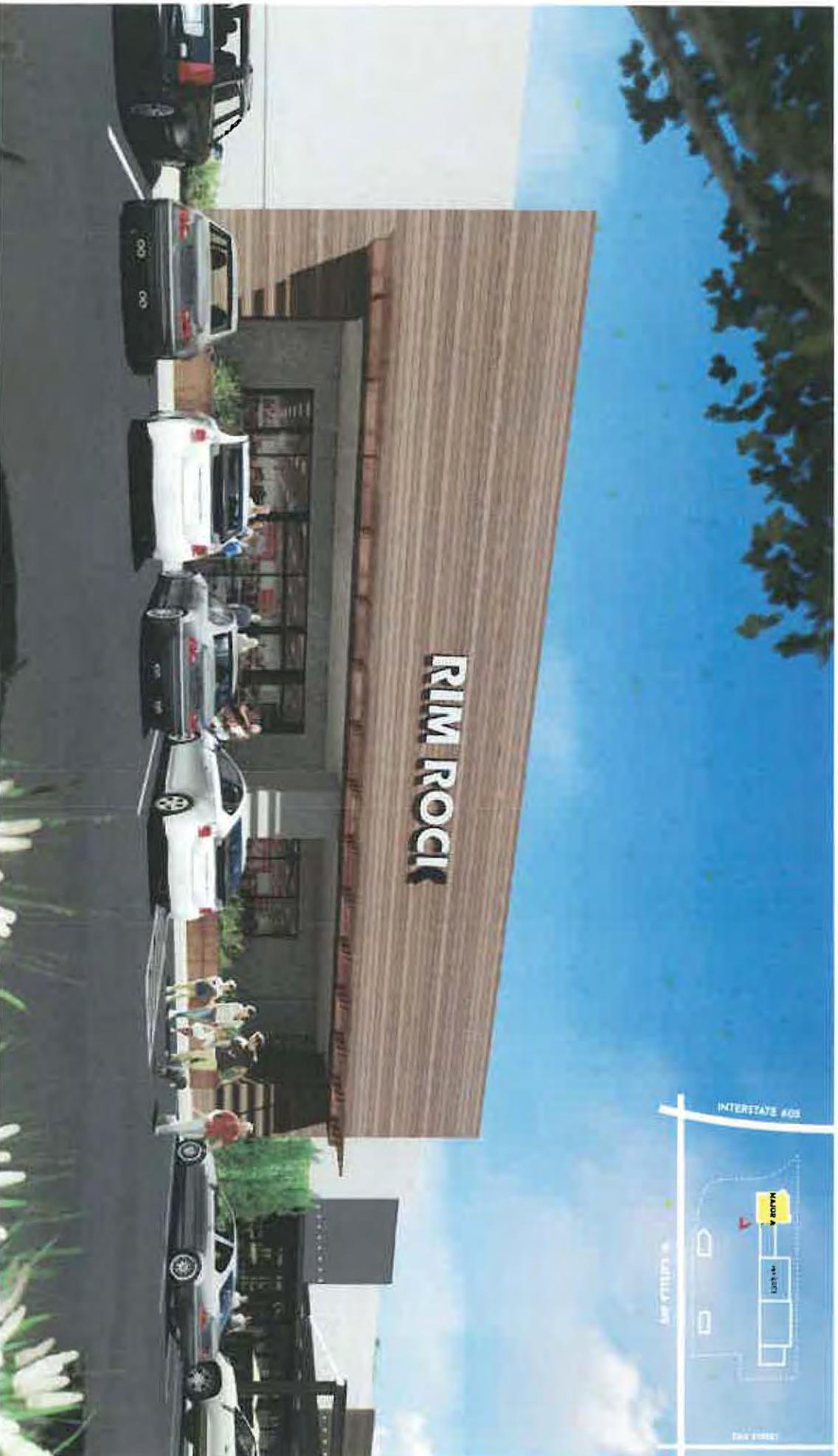
LINCOLN  
PROPERTY  
COMPANY

village

LOS ANGELES, CA  
7000 #15103  
DNE R.A.L.H

KTGY Group, Inc.  
Architecture-Planning  
17871 Van Kesteren Ave., Suite 200  
Irvine, CA 92614  
949.861.2133  
ktgy.com





CONCEPTUAL RENDERING - MAJOR A

LINCOLN  
PROPERTY  
COMPANY

villagegreen  
L.A. REALTY

105 ALAMITOS, CA  
90746-1803  
DIRE: 310.414.1111

KTCY Group, Inc.  
Architecture+Planning  
17911 Von Karman Ave., Suite 200  
Irvine, CA 92614  
949.881.2133  
ktag.com





CONCEPTUAL RENDERING - SHOPS

LINCOLN  
PROPERTY  
COMPANY

villagecenter

LOS ANGELES, CA  
7000 FUSSELL  
Ave. 111116

KTGY Group, Inc.  
Architecture+Planning  
17971 Van Kaman Ave., Suite 200  
Irvine, CA 92614  
949.261.2133  
ktg.com





CONCEPTUAL RENDERING - PAD A

LINCOLN  
PROPERTY  
COMPANY

villageresi  
RESIDENTIAL

LOS ANGELES, CA  
NO. #19103  
ONE 11.1.14

KTGY Group, Inc.  
Architecture+Planning  
11911 Van Kesteren Ave., Suite 200  
Irvine, CA 92618  
949.261.2133  
ktgy.com





CONCEPTUAL RENDERING - PAD A

LINCOLN  
PROPERTY  
COMPANY

village 

LOS ANGELES, CA  
800 #1512  
202 14114

A23

KTGY Group, Inc.  
Architecture+Planning  
17911 Von Karman Ave., Suite 200  
Irvine, CA 92614  
949.851.2133  
ktg.com





CONCEPTUAL RENDERING - PAD A

LINCOLN  
PROPERTY  
COMPANY

villagegreen

LOS ANGELES, CA  
800 #1563  
901 14114

KTGY Group, Inc.  
Architecture+Planning  
17911 Von Karman Ave., Suite 200  
Irvine, CA 92614  
949.861.2733  
ktgy.com





CONCEPTUAL RENDERING - PAD B

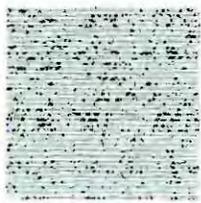
LINCOLN  
PROPERTY  
COMPANY

village

LOS ANGELES, CA  
OFF #15821  
ONE IULIA

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Architecture+Planning  
17911 Von Karren Ave., Suite 200  
Irvine, CA 92614  
949.951.2133  
KTGY.com





1



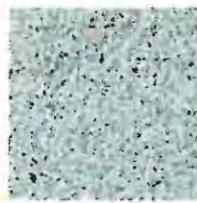
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3



4



5

12



13



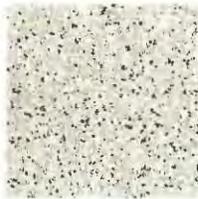
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6



7



8



9



15



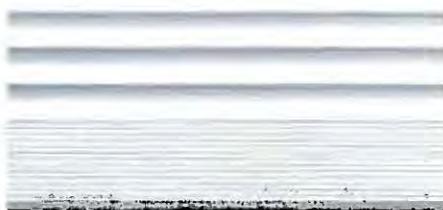
16



17



10



11



18



19



20

FINISHES

1 STUCCO - Coarse Texture	2 STUCCO - Fine Sand Float	3 STUCCO - Heavy Sand Float	4 COMPOSITE PANEL - NA 13 Silver Quartzite, Rock Texture Trespa	5 PRECAST PANEL - Color 152, Silver Tinted with white granite aggregate Gable Precast	12 CORRUGATED METAL - Dark Bronze	13 CORRUGATED METAL - Slate Gray	14 CMU BLOCK - "Warm Grey" Pecked Finish Angelus
6 CMU BLOCK - "Warm Grey" Pecked Finish Angelus	7 ALUMINUM STOREFRONT - Standard Dark Bronze (AB-7) Arcadia	8 ALUMINUM STOREFRONT - Clear (AC-2) Arcadia	9 PAINT - "Snow White" (2122-70) Benjamin Moore	15 PAINT - "Broken Arrow" (1026) Benjamin Moore	16 PAINT - Rural - art's (1223) Benjamin Moore	17 PAINT - "Pecan" (470) Benjamin Moore	18 WOOD SIDING - "C-03 Dark Burnt" Resysta
10 WOOD SIDING - "C-03 Dark Burnt" Resysta	11 WOOD SIDING - "C-14 Silver" Resysta	12 WOOD SIDING - "C-23 Aged Track" Resysta	13 WOOD SIDING - "C-29 Dark Grey" Resysta	19 PAINT - "Pecan" (470) Benjamin Moore	20 WOOD SIDING - "C-08 Dark Grey" Resysta		

CONCEPTUAL MATERIALS AND FINISHES

**OWNER/DEVELOPER**

LINCOLN PROPERTY COMPANY  
114 PACIFICA  
SUITE 370  
IRVINE, CALIFORNIA 92618  
949-333-2114  
CONTACT: PARKE MILLER



**ARCHITECT**

KTGY GROUP, INC.  
17811 VON KARMAN AVENUE, SUITE 200  
IRVINE, CA 92614  
949-851-2133  
CONTACT: MR. CHRIS CUASO



**CIVIL ENGINEER**

R.A. SMITH NATIONAL, INC.  
8881 RESEARCH DRIVE  
IRVINE, CALIFORNIA 92618  
(949) 872-2378 Phone  
(949) 387-3915  
CONTACT: MR. CHRIS BRATTY  
MR. SAMUEL JACOBY, P.E.

**R.A. Smith National**

*Beyond Surveying  
and Engineering*

1711 Research Drive, Suite 200  
Irvine, CA 92614  
Appleton, WI Columbus, OH Pittsburgh, PA

**LANDSCAPE ARCHITECT**

CONCEPTUAL DESIGN AND PLANNING COMPANY  
A CALIFORNIA CORPORATION  
3195-C AIRPORT LOOP DRIVE  
STUDIO ONE  
COSTA MESA, CALIFORNIA 92626  
949-399-0870 X213  
CONTACT: MR. JOHN PALUSIN



**PLANNING APPLICATION TITLE SHEET**



NOT FOR CONSTRUCTION  
FOR PLANNING PURPOSES ONLY

DATE: 10/7/16

# village

LO:

SH

CIV

C0

C1

C2

C3

C4

C5

C6

C7

C8

C9

C10

ARC

A1

A2

A3

A4

A5

A6

A7

A8

A9

A10

A11

A12

A13

A14

A15

A16

A17

A27

LAN

SHE

SHE

SHE

LIG

LD-C

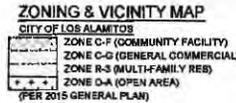
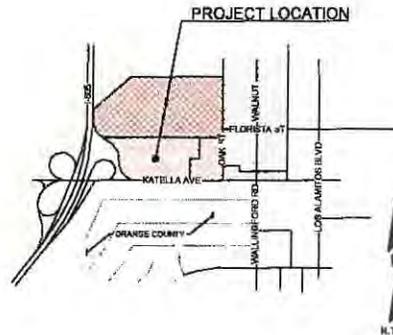
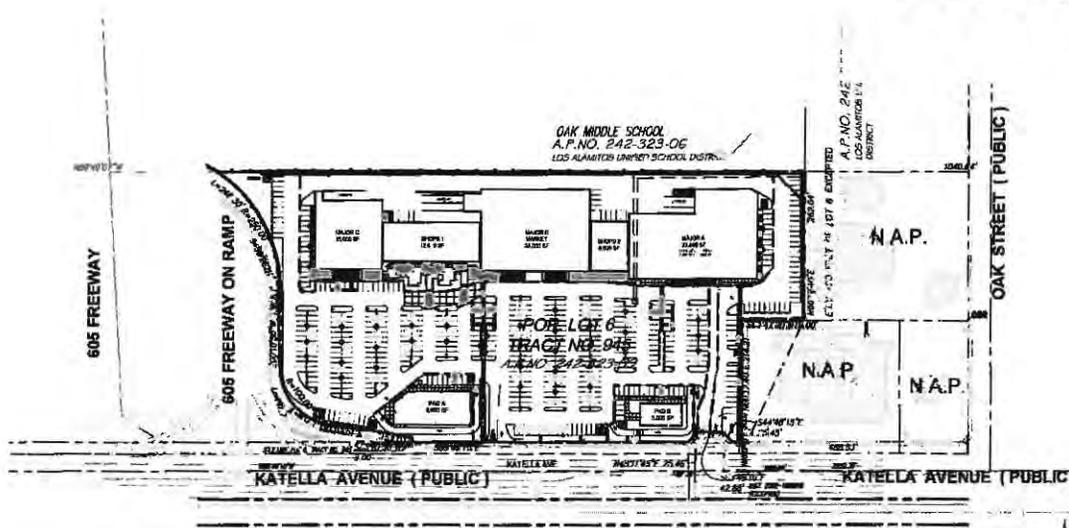
LD-C

LD-C

LD-C

LD-C

LD-C



**VILLAGE 605**

LOS ALAMITOS, CA  
VTS# 0150532  
DATE: 10/7/16  
R.A. SMITH NATIONAL # 3160103  
R.A. SMITH NATIONAL P.M. CHRIS BRATTY

**R.A. Smith National**

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LINCOLN  
PROPERTY  
COMPANY

village605  
LOS ALAMITOS



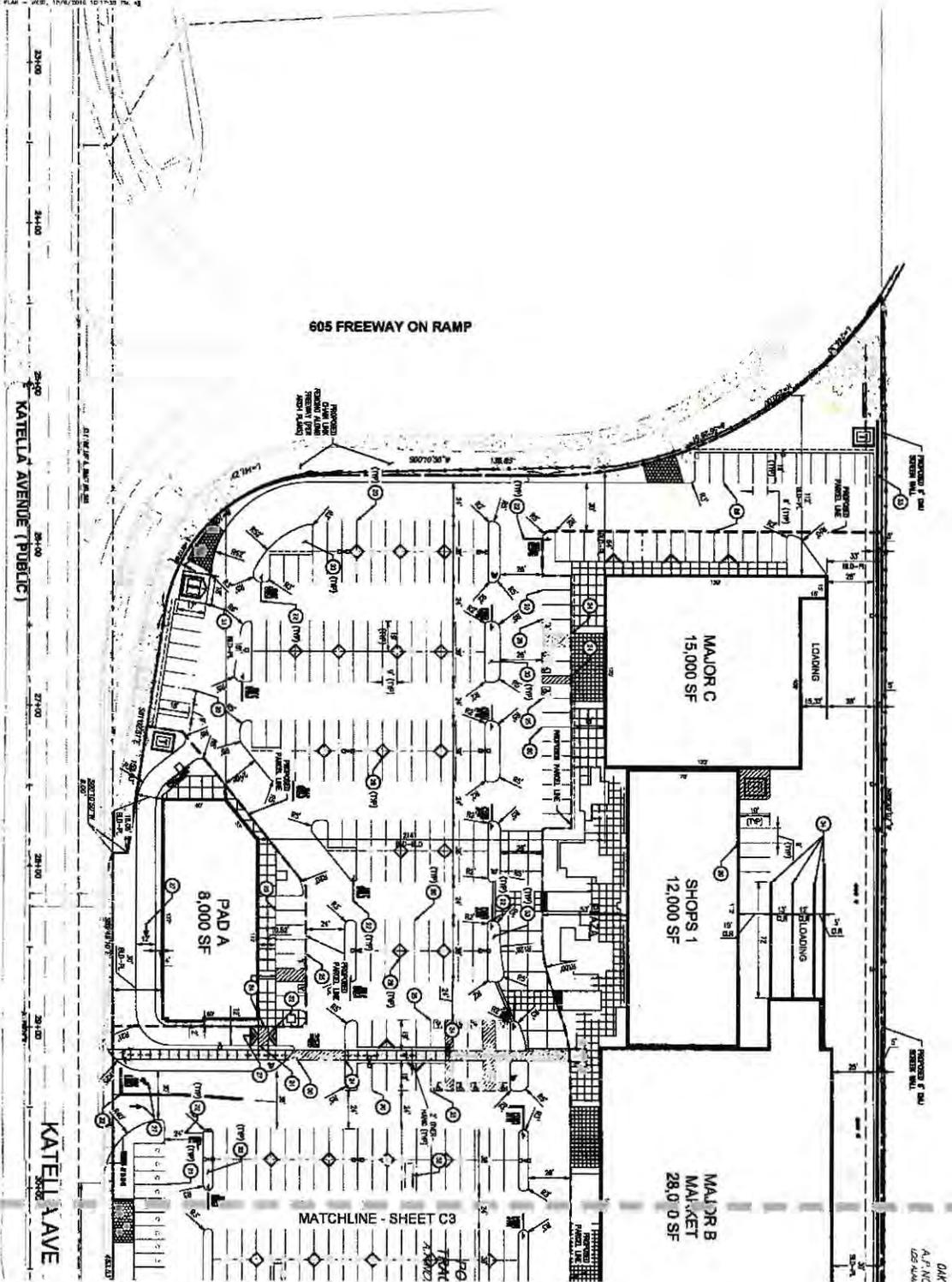
NOT FOR CONSTRUCTION  
NOT TO BE USED FOR PERMITS  
DATE: 07/14/16

LOS ALAMITOS, CA  
PDS #10001  
ONE NORTH  
ALAMO AVENUE # 31803  
ALAMO AVENUE 2.5. GDS 8000

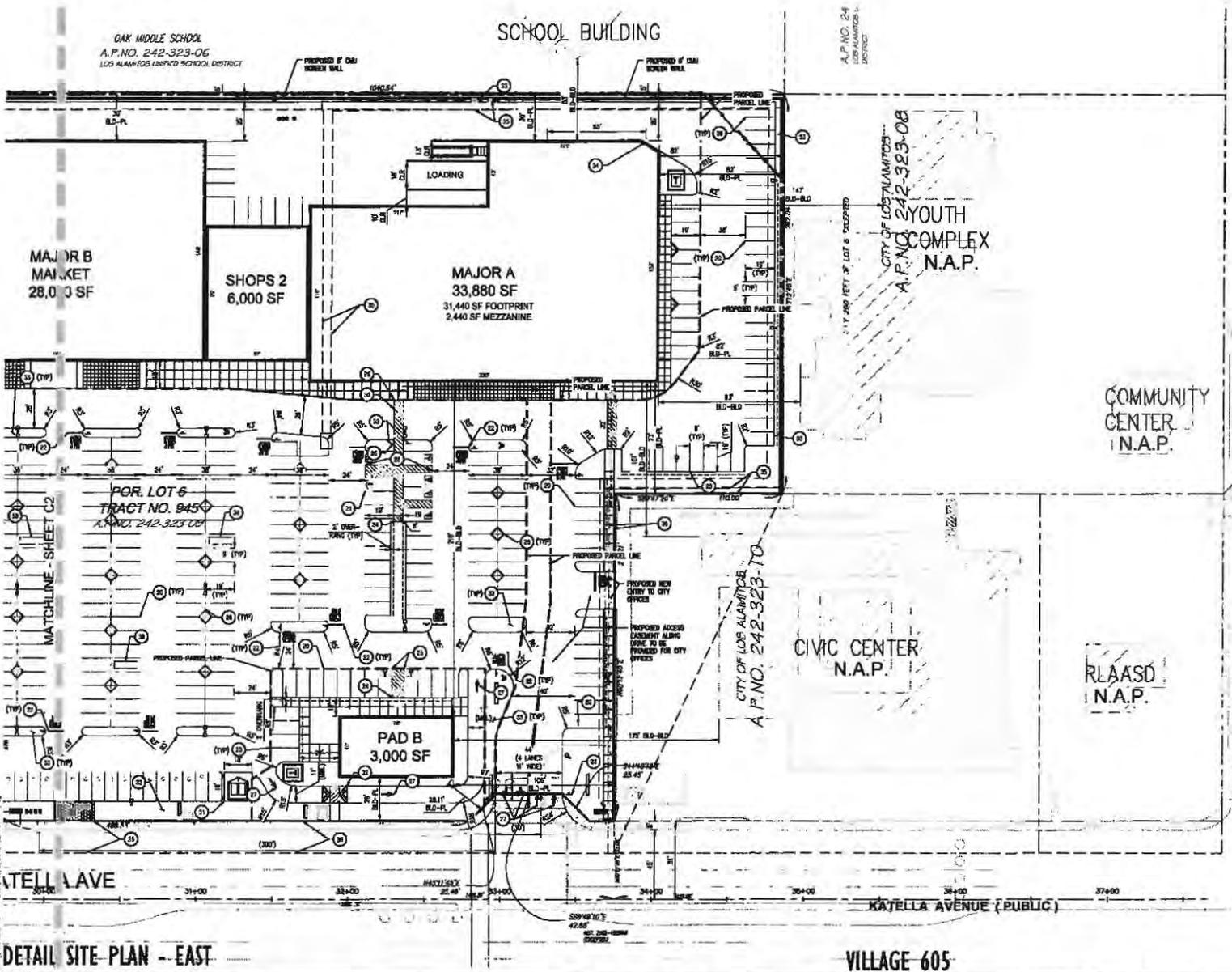
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and Engineering  
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DETAIL SITE PLAN - WEST

VILLAGE 605



DAK  
A.F. NC  
LOS ALA



DETAIL SITE PLAN - EAST

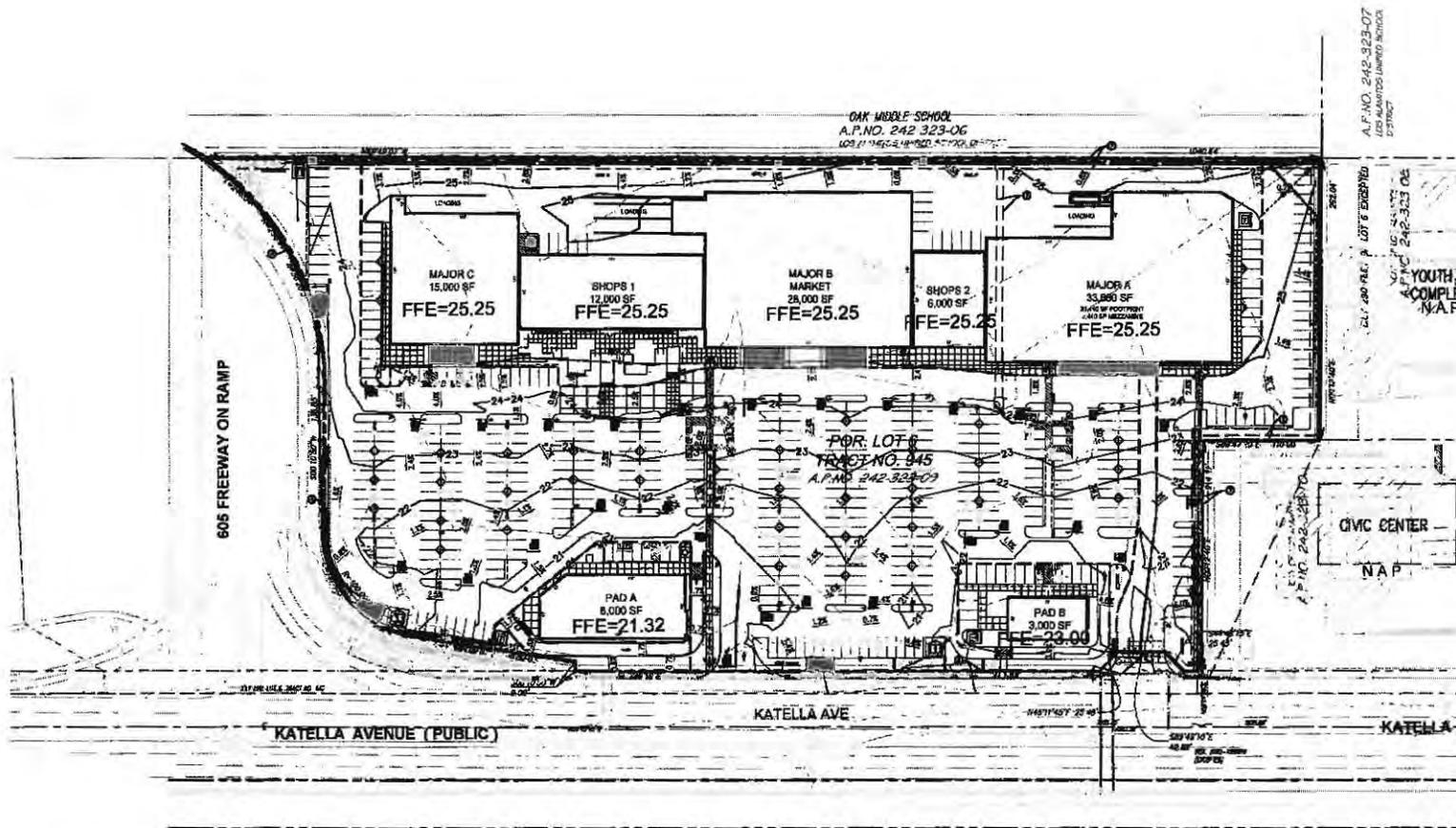
LINCOLN  
PROPERTY  
COMPANY

village605  
LOS ALAMITOS



VILLAGE 605  
LOS ALAMITOS, CA  
PLOT #155832  
DATE 10/27/16  
R.A. SMITH NATIONAL # 3169103  
R.A. SMITH NATIONAL P.L.L.C. DBS 00011

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and Engineering  
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OAK MIDDLE SCHOOL  
 A.P.N. 242-323-06  
 LOT 11 MAP 5 14-1000-5-1700, 17-1700

A.P.N. 242-323-07  
 LOT 8 MAP 5 14-1000-5-1700, 17-1700

LOT 6 MAP 5 14-1000-5-1700, 17-1700  
 A.P.N. 242-323-04  
 YOUTH COMPLEX  
 N.A.P.

CIVIC CENTER  
 N.A.P.

KATELLA AVENUE (PUBLIC)

KATELLA AVE

KATELLA

OVERALL GRADING PLAN

LINCOLN  
 PROPERTY  
 COMPANY

village605  
 LOS ALAMITOS



NOT FOR CONSTRUCTION  
 FOR PLANNING PURPOSES ONLY

DATE 10/1/15

VILLAGE 605

LOS ALAMITOS, CA  
 LOT # 150132  
 DATE 10/7/14  
 R.A. SMITH NATIONAL # 3106103  
 R.A. SMITH NATIONAL P.M. CHRIS BRAYTT

R.A. Smith Natic

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 and Engineering  
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V:\Projects\2015\20150601\_Village605\01 - Overall Grading\01 - Overall Grading.dwg, 10/1/15, 10:00 AM, R.A. SMITH NATIONAL



GAX MIDDLE SCHOOL  
 A.P. NO. 242-323-06  
 LOS ALAMITOS UNIFIED SCHOOL DISTRICT

A.P. NO. 24  
 LOS ALAMITOS  
 DISTRICT

MAJOR B  
 MARKET  
 28,000 SF  
 FFE=25.25

SHOPS 2  
 6,000 SF  
 FFE=25.25

MAJOR A  
 33,880 SF  
 31,440 SF FOOTPRINT  
 2,440 SF MEZZANINE  
 FFE=25.25

CITY OF LOS ALAMITOS  
 A.P. NO. 242-323-09

N.A.P.

N.A.P.

POR. LOT 6  
 TRACT NO. 845  
 A.P. NO. 242-323-09

CITY OF LOS ALAMITOS  
 A.P. NO. 242-323-10

N.A.P.

N.A.P.

PAD B  
 3,000 SF  
 FFE=23.00

KATELLA AVE

KATELLA AVENUE (PUBLIC)

DETAIL GRADING PLAN - EAST

LINCOLN  
 PROPERTY  
 COMPANY

village 605  
 LOS ALAMITOS



NOT FOR CONSTRUCTION  
 FOR PLANNING PURPOSES ONLY  
 DATE: 10/1/16

VILLAGE 605

LOS ALAMITOS, CA  
 KEY: #150132  
 DATE: 10/7/16  
 R.A. SMITH NATIONAL # 3140103  
 R.A. SMITH NATIONAL P.M. CHRIS BRATTY

R.A. Smith National

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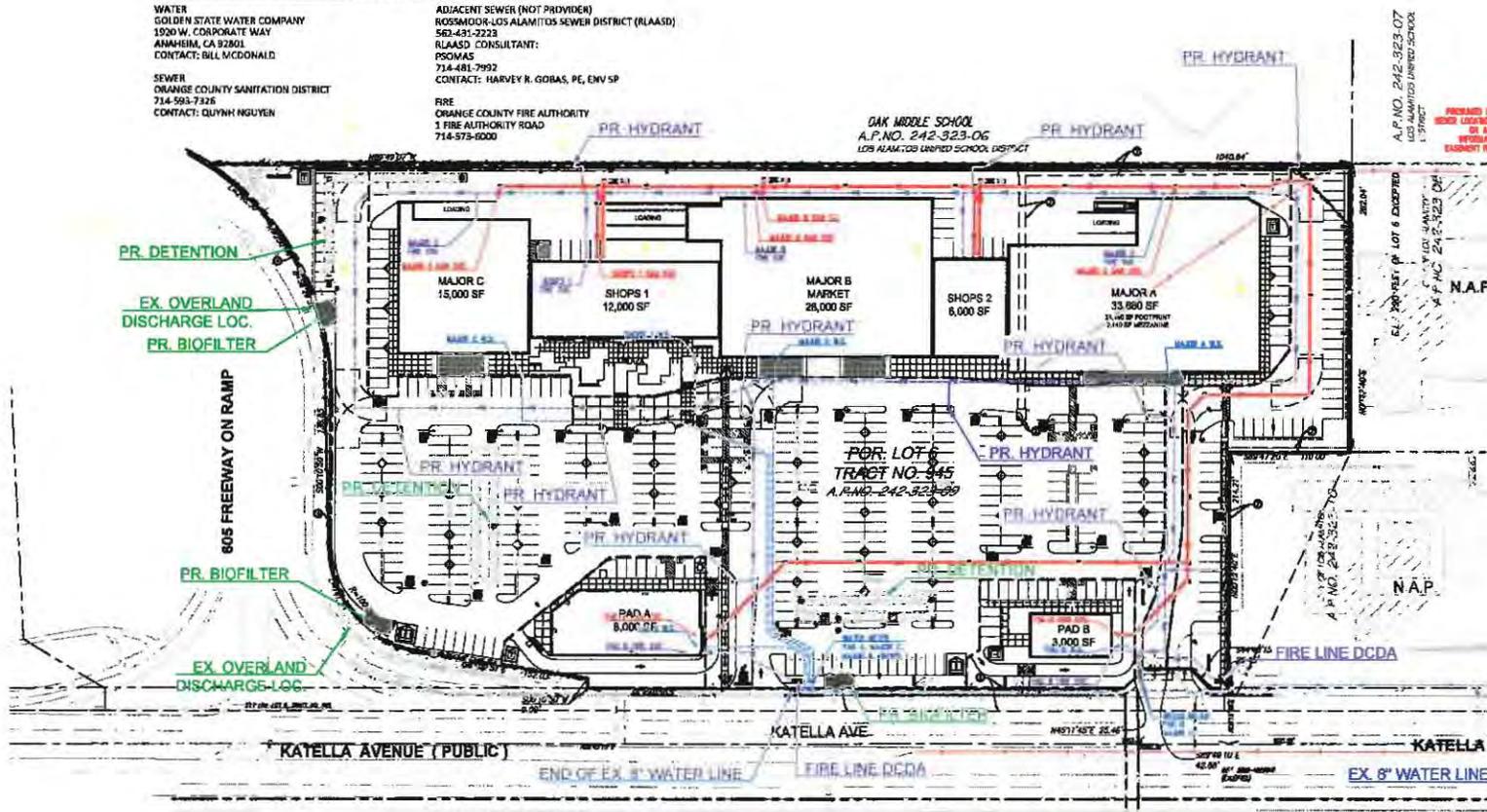
**UTILITY PROVIDER INFORMATION**

**WATER**  
 GOLDEN STATE WATER COMPANY  
 1920 W. CORPORATE WAY  
 ANAHEIM, CA 92801  
 CONTACT: BILL McDONALD

**SEWER**  
 ORANGE COUNTY SANITATION DISTRICT  
 714-593-7328  
 CONTACT: QUYNH NGUYEN

**ADJACENT SEWER (NOT PROVIDER)**  
 ROSMOR-LOS ALAMITOS SEWER DISTRICT (RLASD)  
 562-431-2223  
 RLASD CONSULTANT:  
 POSOVALS  
 714-481-7992  
 CONTACT: HARVEY R. GOBAS, PE, ENV SP

**FIRE**  
 ORANGE COUNTY FIRE AUTHORITY  
 1 FIRE AUTHORITY ROAD  
 714-573-6000



**UTILITY LEGEND:**

- PROPOSED WATER LINE
- PROPOSED FIRE LINE
- PROPOSED DOMESTIC WATER SERVICE
- EXISTING WATER AND FIRE LINE (GOLDEN STATE WATER COMPANY AS BUILT)
- PROPOSED SANITARY SEWER LINE (TBD)
- EXISTING SANITARY SEWER LINE (FROM CCSD AS-BUILTS)
- PROPOSED STORM DRAIN LINE (TBD)
- EXISTING STORM DRAIN LINE (FROM CITY AS AS BUILTS)

**NOTE:**

ELEVATIONS LISTED HAVE BEEN DETERMINED BY AS-BUILT DRAWINGS AND INDEX MAPS PROVIDED BY THE RESPECTIVE SEWAGE DISTRICTS.

ELEVATIONS ON SANITARY SEWER AND STORM DRAIN ARE INVERT, UNLESS NOTED OTHERWISE. CONTRACTOR TO VERIFY AS NEEDED.

ALL DIMENSIONS ARE APPROXIMATE, ALTHOUGH BETWEEN KNOWN POINTS, THE LOCATION OF THE UTILITIES IDENTIFIED HAVE BEEN DIGITIZED FROM AS-BUILTS AND UTILITY RECORDS.

**OVERALL UTILITY PLAN**

LINCOLN PROPERTY COMPANY

village605  
 LOS ALAMITOS



NOT FOR CONSTRUCTION  
 FOR PLANNING PURPOSES ONLY

DATE: 10/1/16

**VILLAGE 605**

LOS ALAMITOS, CA  
 EVID #158132  
 DATE: 10/7/16  
 R.A. SMITH NATIONAL # 3140103  
 R.A. SMITH NATIONAL P.H. CHRIS BRADY

**R.A. Smith National**

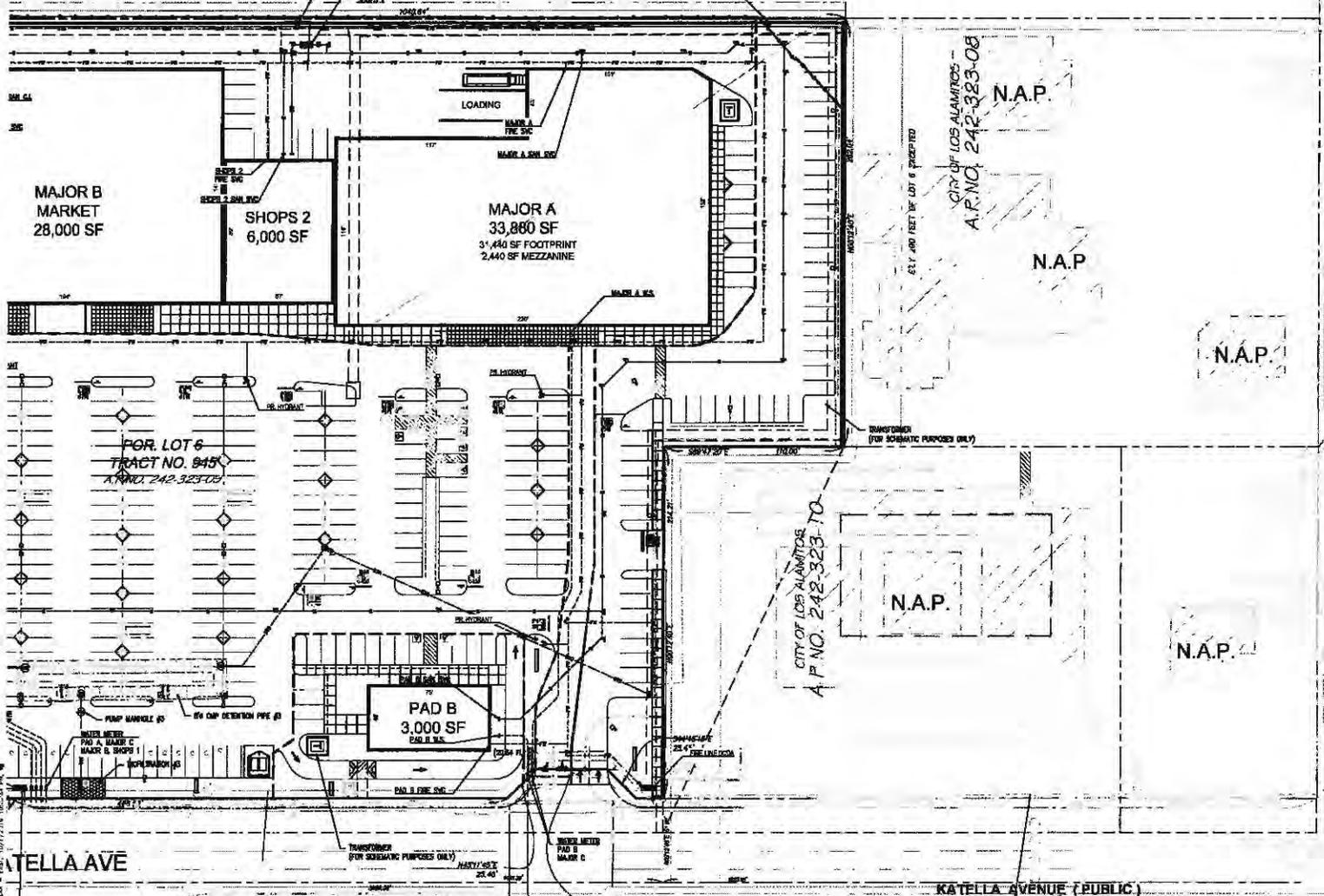
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15/11/2016 10:45:00 AM (C:\Users\j...)\Public\... 15/11/2016 10:45:00 AM 15/11/2016 10:45:00 AM



DAK MIDDLE SCHOOL  
A.P. NO. 242-323-06  
LOS ALAMITOS UNIFIED SCHOOL DISTRICT



KATELLA AVE

KATELLA AVENUE (PUBLIC)

DETAIL UTILITY PLAN - EAST

LINCOLN  
PROPERTY  
COMPANY

village605  
LOS ALAMITOS



NOT FOR CONSTRUCTION  
FOR PLANNING PURPOSES ONLY  
DATE: 10/17/14

VILLAGE 605

LOS ALAMITOS, CA  
SITE #450533  
DATE: 10/17/14  
R. SMITH NATIONAL # 364183  
R. SMITH NATIONAL P.E. CHRIS BRATTY

R.A. Smith National

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A.P. NO. 242-323-08  
CITY OF LOS ALAMITOS

N.A.P.

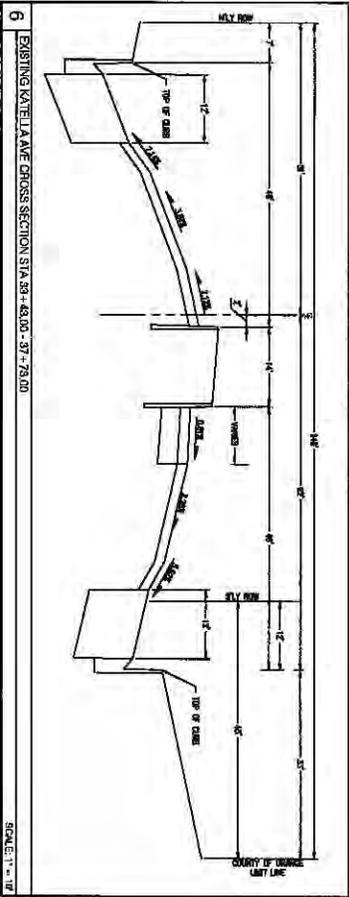
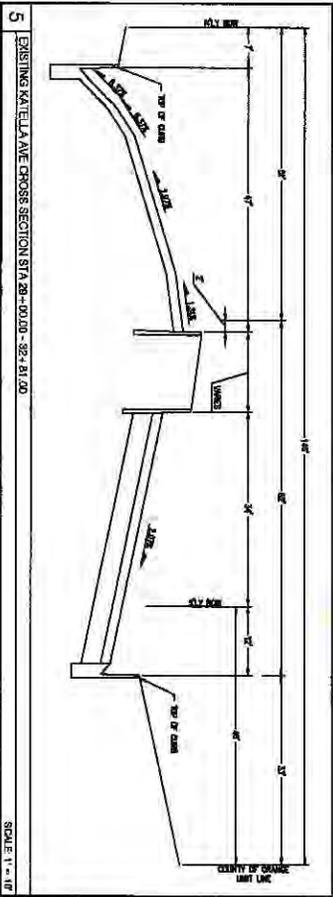
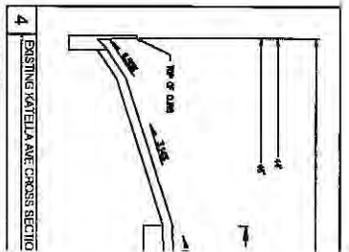
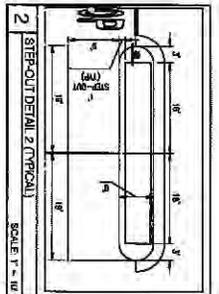
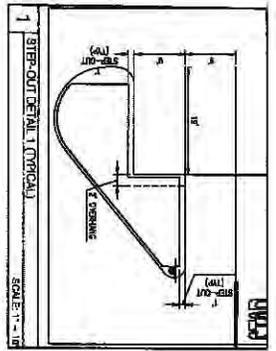
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N.A.P.

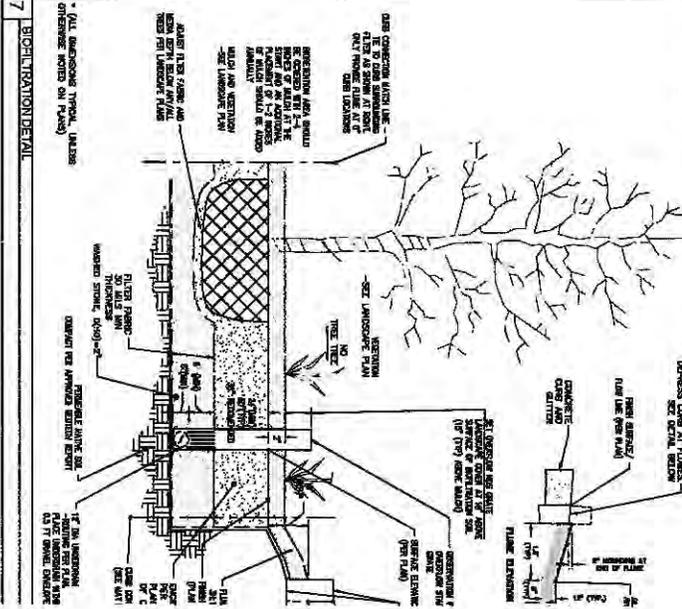
N.A.P.

N.A.P.

10/17/14 10:00 AM  
 PROJECT: VILLAGE 605 - EAST  
 DATE: 10/17/14 10:00 AM  
 10/17/14 10:00 AM



- NOTES:**
1. CURBS OF 24" HIGHER THAN WATER TREATMENT BARRIERS AND STRUCTURAL SOIL LAYERS ARE REQUIRED TO BE SUBMITTED TO THE CITY ENGINEER FOR EVALUATION BEFORE PRIORS TO BE GIVEN ON SITE.
  2. PLANT MATERIALS SHOULD BE TOLERANT OF SHADY DROUGHT, AND POORING FLUCTUATIONS.
  3. PLANT MATERIALS WILL BE NATIVE, NON-INVASIVE SPECIES AND WILL NOT REQUIRE CHEMICAL WEEDS.



**VILLAGE 605**

LOS ALAMITOS CA  
 908 41823  
 3000 10TH ST  
 ALHAMBRA, CA 91801  
 ALHAMBRA, CA 91801

**R.A. Smith Natio**  
 Beyond Survey  
 and Engineer  
 © COPYRIGHT 2011

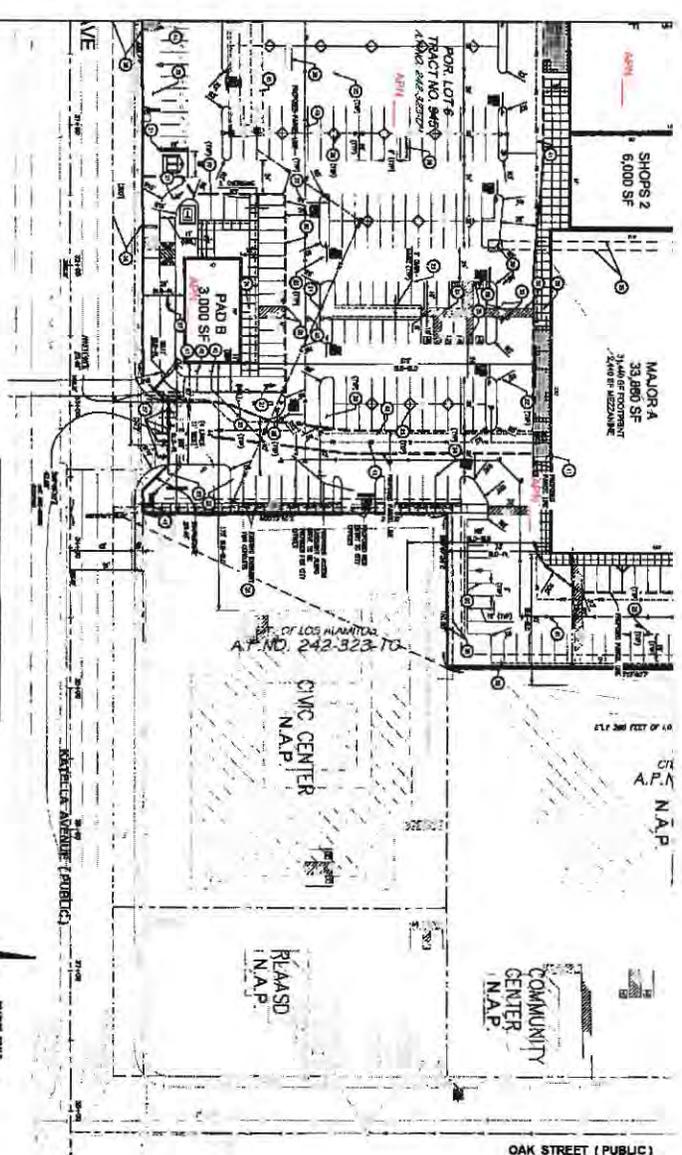
LINCOLN  
 PROPERTY  
 COMPANY

**village605**  
 LOS ALAMITOS



DATE: 08/14/11  
 SCALE: 1" = 10'

www.ra-smith.com



**GENERAL NOTES**

1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
2. FINISH FLOOR IS 1'-0" ABOVE FINISH GRADE UNLESS OTHERWISE NOTED.
3. FINISH GRADE IS 1'-0" ABOVE MEAN SEA LEVEL UNLESS OTHERWISE NOTED.
4. ALL CONCRETE SHALL BE CAST IN PLACE.
5. ALL CONCRETE SHALL BE CURED FOR A MINIMUM OF 7 DAYS.
6. ALL CONCRETE SHALL BE TESTED FOR STRENGTH.
7. ALL CONCRETE SHALL BE TESTED FOR CURTURE.
8. ALL CONCRETE SHALL BE TESTED FOR AIR CONTENT.
9. ALL CONCRETE SHALL BE TESTED FOR MODULUS OF ELASTICITY.
10. ALL CONCRETE SHALL BE TESTED FOR COMPRESSIVE STRENGTH.
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12. ALL CONCRETE SHALL BE TESTED FOR FLEXURAL STRENGTH.
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17. ALL CONCRETE SHALL BE TESTED FOR PERMEABILITY.
18. ALL CONCRETE SHALL BE TESTED FOR SORPTIVITY.
19. ALL CONCRETE SHALL BE TESTED FOR CHLORIDE PERMEABILITY.
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22. ALL CONCRETE SHALL BE TESTED FOR ALKALI-AGGREGATE REACTION.
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26. ALL CONCRETE SHALL BE TESTED FOR SOCIAL RESPONSIBILITY.
27. ALL CONCRETE SHALL BE TESTED FOR ETHICAL Sourcing.
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50. ALL CONCRETE SHALL BE TESTED FOR DENIAL OF LIFE.

**LEGEND**

Symbol	Description
Circle with dot	Survey Point
Circle with cross	Utility Point
Circle with 'X'	Spot Elevation
Circle with 'E'	Existing Elevation
Circle with 'F'	Finished Elevation
Circle with 'G'	Grade Elevation
Circle with 'H'	Height Elevation
Circle with 'I'	Interior Elevation
Circle with 'J'	Job Elevation
Circle with 'K'	Key Elevation
Circle with 'L'	Level Elevation
Circle with 'M'	Mean Elevation
Circle with 'N'	Normal Elevation
Circle with 'O'	Original Elevation
Circle with 'P'	Proposed Elevation
Circle with 'Q'	Quoted Elevation
Circle with 'R'	Reference Elevation
Circle with 'S'	Station Elevation
Circle with 'T'	Target Elevation
Circle with 'U'	Utility Elevation
Circle with 'V'	Vertical Elevation
Circle with 'W'	Water Elevation
Circle with 'X'	Wind Elevation
Circle with 'Y'	Year Elevation
Circle with 'Z'	Zone Elevation

**R.A. Smith National**  
 Special Surveying and Engineering  
 1415 N. Main Street, Suite 100  
 Los Angeles, CA 90012  
 Phone: (213) 475-1111  
 Fax: (213) 475-1112  
 Website: www.raftn.com

**811**

**Professional Engineer Seal**  
 State of California  
 License No. 12345  
 Name: R.A. Smith  
 Title: Professional Engineer  
 Expiration: 12/31/2024

**GENERAL NOTES**

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RECLAIMED WOOD BENCHES



FIRE TABLE



SCULPTURE SEATING



SHADE CANOPY ELEMENT



PATIO



SCULPTURE SEATING  
BRIGHT, FRESH COLORS



LIVING WALL

DECORATIVE  
PLANTER POTS  
MAJORA

SHOPS 1  
15,900 SF

MAJOR B MARKET



PEDESTRIAN LIGHTING



HEAVILY TEXTURED PLANTS  
TO DEFINE PATIO & CASUAL  
SEATING AREAS



BOLLARDS



MULTI-TRUNK ACCENT TREE  
WITH OPEN CANOPY FOR VISIBILITY  
PARKING LOT 'DESERT MUSEUM'



CATENARY LIGHTS



EVERGREEN ACCENT TREE  
AGONIS FLEXUOSA 'AFTER DARK'



SMALL, HEAVILY  
TEXTURED TREE



PARKING LOT SHADE TREE  
GLEDTISIA T. INERMIS 'SHADEMASTER'



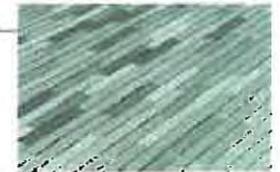
STORE FRONT CONCRETE PAVEMENT



ENHANCED CONCRETE PAVING  
COLORED CONCRETE



RECLAIMED WOOD SEATING  
BENCHES, PODS, & CUBES



ENHANCED CONCRETE PAVING  
LINEAR PLANK

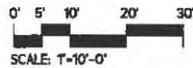
# CONCEPTUAL LANDSCAPE PLAN PLAZA ENLARGEMENT

# VILLAGE 605

# CLP 1.1

LINCOLN  
PROPERTY  
COMPANY

village605  
LOS ALAMITOS



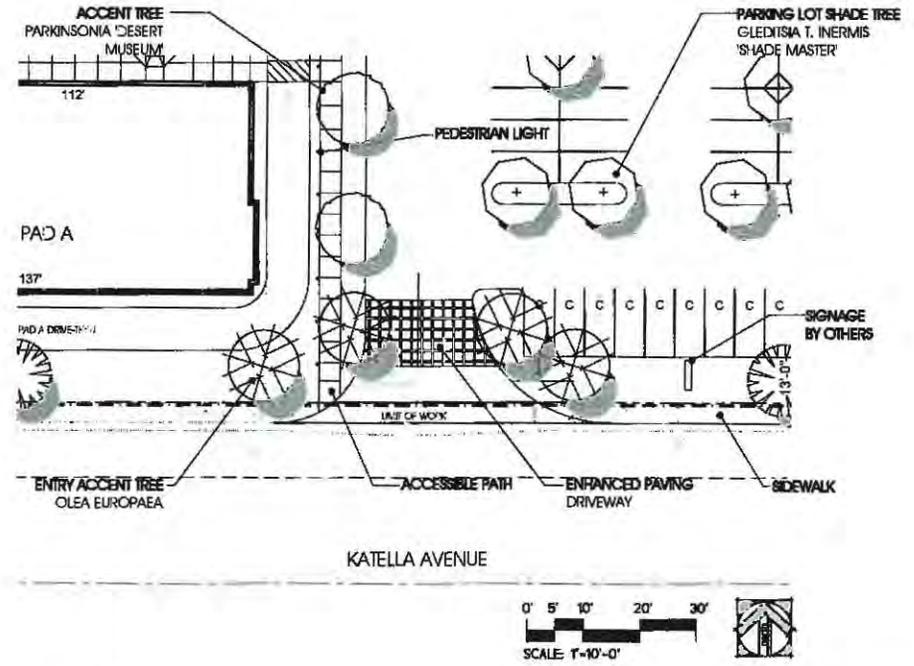
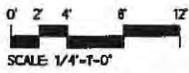
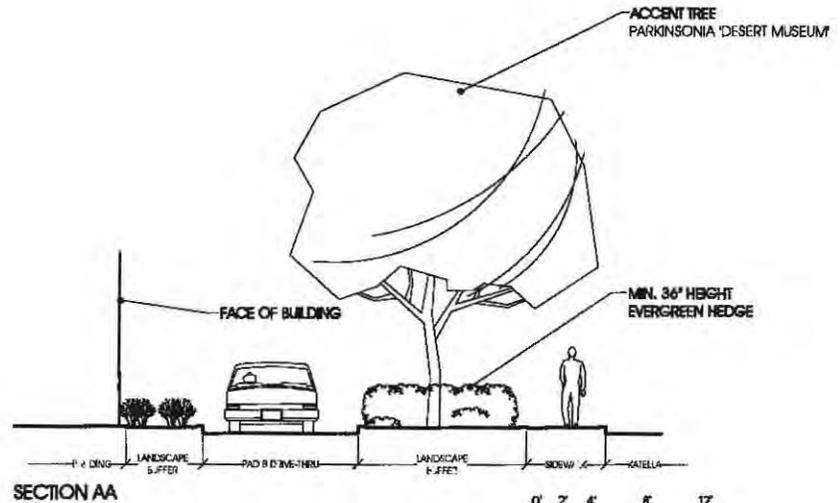
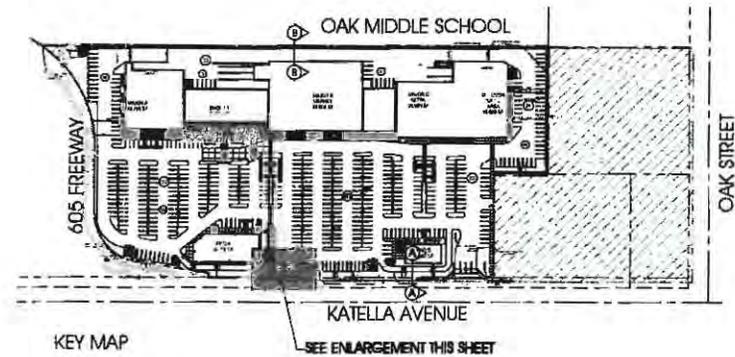
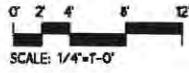
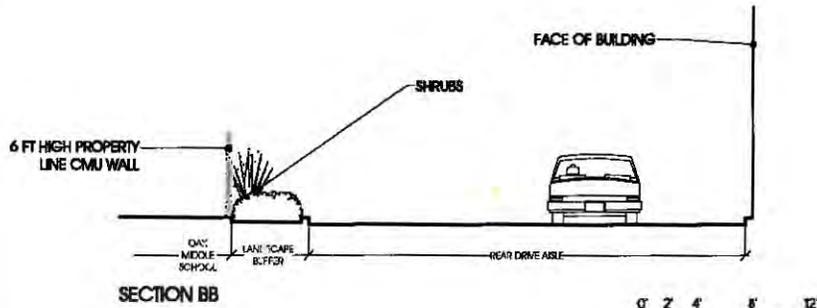
LOS ALAMITOS, CA  
KTGY #150532  
DATE: 6/29/16  
CDPC #15102  
CDPC PM: JOHN PALSBIN  
DATE: 10/07/16

professional seal & registration information  
STATE OF CALIFORNIA  
REGISTERED PROFESSIONAL LANDSCAPE ARCHITECT  
NO. 150532  
EXPIRES 12/31/2017  
KATHY G. YOUNG  
150532-0001



KTGY Group, Inc.  
Architecture+Planning  
17911 Von Karman Ave.  
Irvine, CA 92614  
949.851.2133  
ktgy.com





CONCEPTUAL LANDSCAPE ENTRY ENLARGEMENT & SECTION

VILLAGE 605

CLP 1.2

LINCOLN  
PROPERTY  
COMPANY

village 605  
LOS ALAMITOS

LOS ALAMITOS, CA  
KTGY #150532  
DATE: 6/29/16  
CDPC #15102  
CDPC PM: JOHN PALUSIN  
DATE: 10/07/16

CONSULTING DESIGN & PLANNING COMPANY  
KTGY GROUP, INC.  
17911 VAN KAMMEN AVE.  
IRVINE, CA 92614  
949.851.2133  
KTGY.COM



KTGY Group, Inc.  
Architecture+Planning  
17911 Van Kammen Ave.  
Irvine, CA 92614  
949.851.2133  
ktgy.com



**TREES**



AGONIS FLEXUOSA 'After Dark'  
Peppermint Tree



GLEDITSIA T. INERMIS  
'Shademaster'  
Honeylocust



DALEA EUROPAEA  
'Whorl'  
Fruited Olive



PARKINSONIA 'Desert Museum'  
Desert Museum 'Palo Verde'



PINUS ELDARICA  
Alghon Pine

**SHRUBS & SUCCULENTS**



AGAVE ATTENUATA  
Foxtail Agave



ALOE ABOVESCENS  
Torch Aloe



ALOE BARBERAE  
Tree Aloe



ALOE STRIATA  
Coral Aloe



ANIGOZANTHOS 'Bush Gold'  
Yellow Kangaroo Paw



ARCTOSTAPHYLOS 'Pacific Mist'  
Mariposa



BACCHARIS PILULARIS  
'Twin Peaks'



BOUGAINVILLEA  
'La Jolla'



BUXUS MI. JAPONICA  
'Green Beauty'



CALLISTEMON 'Limo John'  
Dwarf Bottlebrush



CAMISSA 'Green Carpet'  
Green Carpet Natal Plum



DALEA GREGGII  
Trailing Indigo Bush



GREVILLEA 'Coastal Gem'  
Coastal Gem Grevillea



LORNAIA 'Gold Rust'



LEUCOPHYLLUM 'Compacta'  
Compact Texas Ranger



PHOTINIA  
'Bronze Baby'



SALVIA GREGGII 'Flame'  
Flame Ajurne Sage



WESTRINGIA FRUTICOSA  
Mural  
Coast Rosemary



XLOSMA C. 'Compacta'  
Compact Xylosma

**GROUNDCOVER**



CAREX PANSA  
Dune Sedge



CRASSULA 'Campfire'  
Campfire Plant



ECHEVEIRA 'Aterglow'  
Aterglow Echeveria



FESTUCA CALIFORNICA  
California Fescue



KALANCHOE THYRSIFLORA  
Paddle Plant



SENECIO SERPENS  
Blue Chalk Sticks

**CONCEPTUAL LANDSCAPE PLANT PALETTE**

**VILLAGE 605**

**CLP 1.3**

LINCOLN  
PROPERTY  
COMPANY

village 605  
LOS ALAMITOS

LOS ALAMITOS, CA

KTGY # 150532  
DATE: 6/29/15  
CDPC # 15102  
CDPC PM: JOHN PAUSIN  
DATE: 10/07/16

conceptual design & landscape company  
3155C Aliso Viejo Blvd., Suite 100, Aliso Viejo, CA 92615  
Tel: 949.261.1111 Fax: 949.261.1112  
www.kitggy.com  
6000 Main Street, Suite 200, Irvine, CA 92618  
949.261.1111 Fax: 949.261.1112

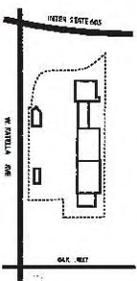


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Architecture+Planning  
17911 Von Karman Ave.  
Irvine, CA 92614  
949.851.2133  
kitggy.com





## CONCEPTUAL LIGHTING DESIGN



**LIGHTING DESIGN ALLIANCE**

**LD-01**

10740 VAN BUREN AVE, SUITE 100  
 LOS ANGELES, CA 90024  
 TEL: 310.358.2660  
 FAX: 310.358.2667  
 WWW.LIGHTINGDESIGNALLIANCE.COM

**villagegreen**

LOS ANGELES, CA  
 07 OCTOBER 2016

PAGE INDEX

SITE PLAN ..... LD-03  
 SITE ILLUMINANCE LEVELS ..... LD-04  
 FACADE LIGHTING MAJOR A ..... LD-05  
 FACADE LIGHTING MAJOR B ..... LD-06  
 FACADE LIGHTING PAD A ..... LD-07  
 FACADE LIGHTING MAJOR C ..... LD-08  
 PLAZA PERSPECTIVE ..... LD-09  
 PLAZA PLAN ..... LD-10

CONCEPT DESIGN NOTES

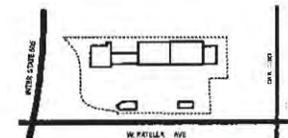
1. SITE LIGHTING PLAN INDICATES FIXTURES TO BE USED FOR AREA LIGHTING. BOTH PARKING LOT LUMINAIRES AND BUILDING WALLPACKS WILL HAVE FULL CUT-OFF OPTICS (NO LIGHT PRODUCED ABOVE HORIZONTAL PLAN). OPTICS CHOSEN TO MEET CITY ILLUMINANCE CRITERIA AND MINIMIZE LIGHT TRESPASS OUTSIDE OF SITE BOUNDARIES.
2. BUILDING ARCHITECTURAL FAÇADE LIGHTING AND LANDSCAPE LIGHTING CONCEPTS ARE DEPICTED IN THIS LIGHTING CONCEPT PACKAGE. EXACT FIXTURE SELECTIONS / SPECIFICATIONS TO BE PROVIDED AT NEXT DESIGN PHASE.
3. LAMP SOURCES SHALL BE LED AND SELECTED TO HAVE HIGHEST EFFICIENCY THAT MEETS AESTHETICS, CODE AND LUMINANCE CRITERIA. THE OVERALL BINNING OF THE SPECIFIED LED LUMINAIRES ARE TO BE WITHIN (3) MAC-ADAM ELLIPSE FOR OVERALL COLOR CONSISTENCY.

INDEX

LINCOLN  
 PROPERTY  
 COMPANY

village

LOS ALAMITOS, CA  
 11/ OCTOBER 2018

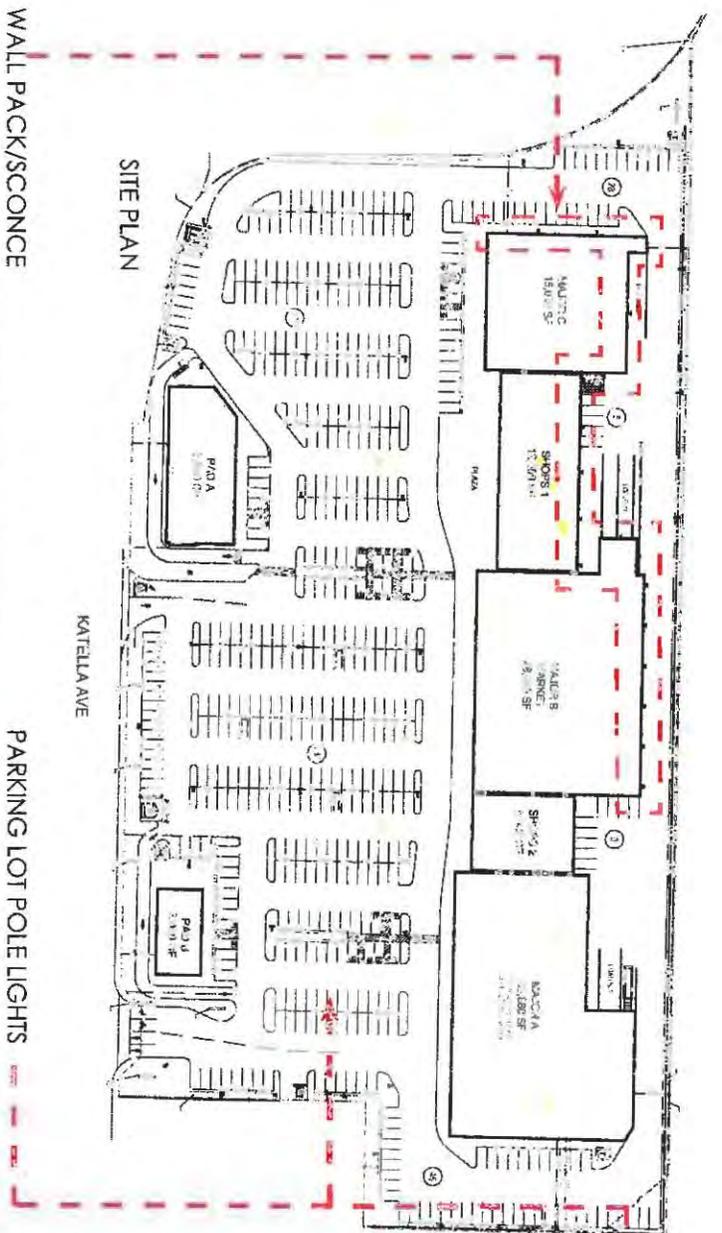


LIGHTING DESIGN ALLIANCE

LIGHTING DESIGN ALLIANCE, INC.  
 2850 TEMPLE AVENUE  
 LONG BEACH, CA 90806-2213

T: 562.589.3845  
 F: 562.589.3847

LD-02

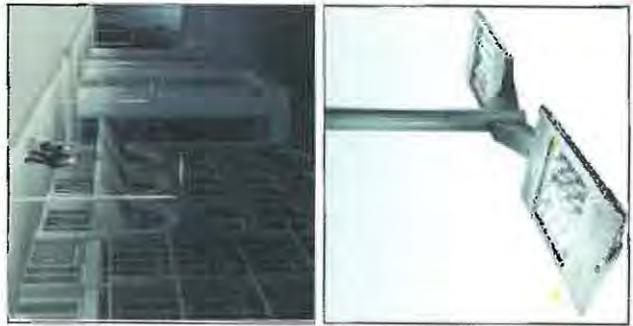


SITE PLAN

KATILLA AVE

WALL PACK/SCONCE

PARKING LOT POLE LIGHTS



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SITE PLAN

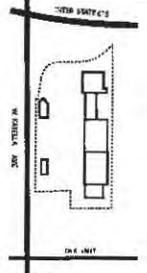
LINCOLN  
PROPERTY  
COMPANY

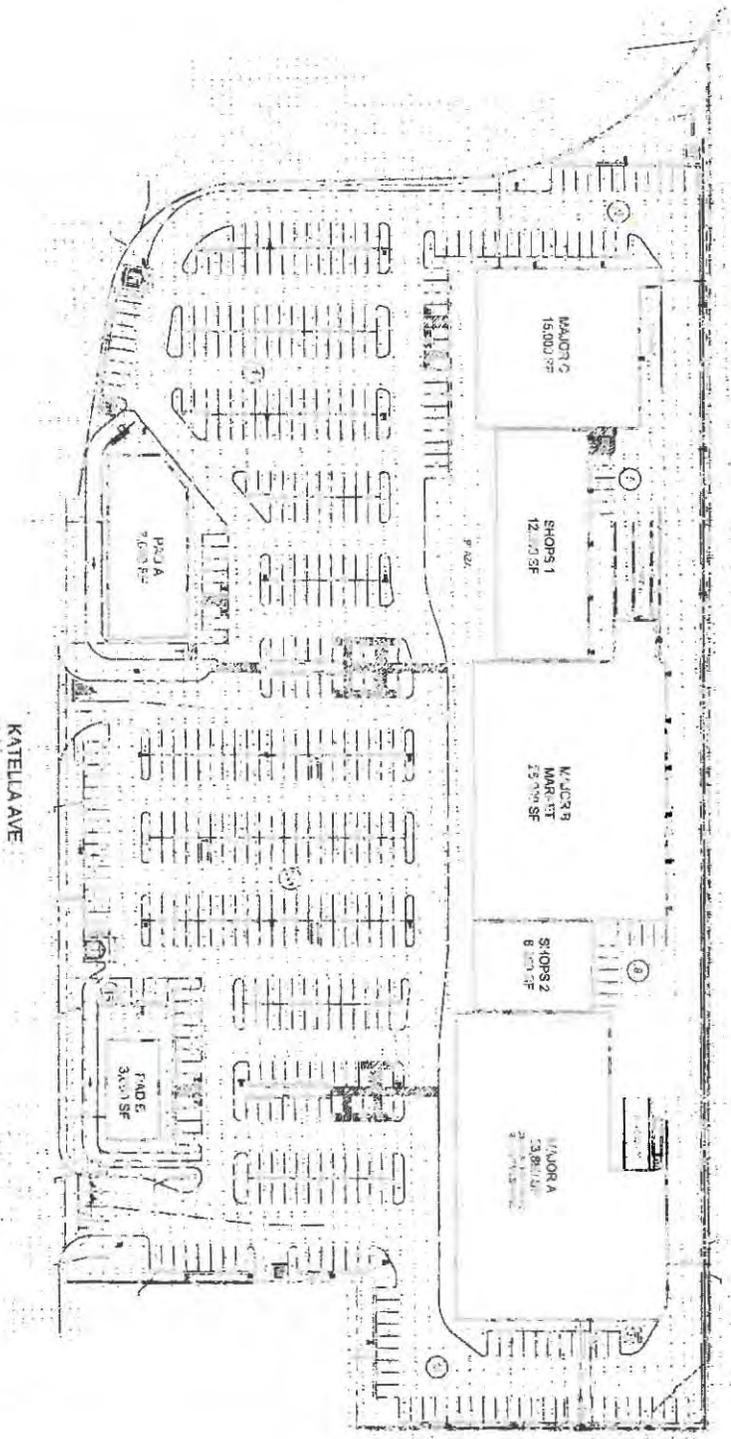
LD INQDESIGNALLIANCE

LOS ANGELES, CA  
27 OCTOBER 2015

LD INQDESIGNALLIANCE, INC.  
2500 TEMPLE AVENUE  
LONG BEACH, CA 90804-2713

LD-03





**SITE ILLUMINANCE LEVELS**

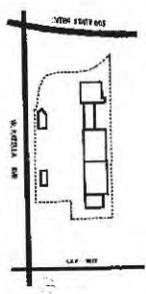
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**LINCOLN  
PROPERTY  
COMPANY**

**village**

105 ALHAMBRA, CA  
07 OCTOBER 2011

UNITS: FOOTCANDLES



**LD** **ING DESIGN ALLIANCE**

LIBERTY DESIGN AND ARCHITECTURE INC.  
1055 AVENUE 125  
2500 TEMPLE AVENUE  
LONG BEACH, CA 90803-2213

T: 562.589.2440  
F: 562.589.2447

LD-04



### TREE UPLIGHTS

Simply using grounded LEDs to direct light up at the trunk and canopy of a tree to enhance the landscape



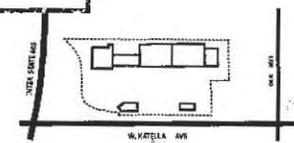
### DECORATIVE EXTERIOR SCONCE

Outdoor Wall Sconce fixtures are perfect for illuminating a warm and inviting presentation to any entry.



### GRAZED WOOD

Wood is grazed by a linear fixture from below to emphasize the natural color and texture.



## FACADE LIGHTING MAJOR A

LINCOLN  
PROPERTY  
COMPANY

villager

LOS ALAMITOS, CA  
07 OCTOBER 2015

LIGHTING DESIGN ALLIANCE

Lighting Design Alliance, Inc.

LOCATIONS:  
2930 TEMPLE AVENUE  
LONG BEACH, CA 90806-2213

T: 562.588.3843  
F: 562.589.3847

www.lightingdesignalliance.com

LD-05




**HALO FACADE**

The varying materials are highlighted using a linear light fixture tucked behind the film of the facade to grant the featured finish.



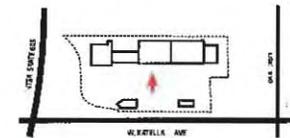
**DECORATIVE SCONCE**

Outdoor Wall Sconce fixtures are perfect for illuminating a warm and inviting presentation to any entry.



**TREE UPLIGHTS**

Simply using grounded LEDs to direct light up at the trunk and canopy of a tree to enhance the landscape



**FACADE LIGHTING MAJOR B**

**LINCOLN  
PROPERTY  
COMPANY**

**villagrace**  
LOS ALAMITOS, CA  
07 OCTOBER 2016

**LIGHTING DESIGN ALLIANCE**

LIGHTING DESIGN ALLIANCE INC.  
LDR AND LEG  
2830 TEMPLE AVENUE  
LONG BEACH, CA 90806-2213

T: 562.989.3843  
F: 562.989.3847  
www.LightingDesignAlliance.com

**LD-06**



NORTH ELEVATION



EAST ELEVATION



SOUTH ELEVATION



NORTHEAST ELEVATION

**GRAZED WOOD**

Wood is grazed by a concealed linear fixture from above throughout to emphasize the natural color and texture.



**FACADE LIGHTING PAD A**

LINCOLN  
PROPERTY  
COMPANY



**UPLIT GREEN WALL**

Accent green wall from flush in-grade uplights.

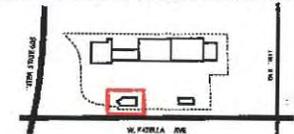
villager

LOS ALAMITOS, CA  
07 OCTOBER 2016



**GRAZED GREEN WALL**

Accent green wall from fixtures concealed in canopy.



**LIGHTING DESIGN ALLIANCE**

LIGHTING DESIGN ALLIANCE, INC.  
LONG BEACH, CA  
2800 TEMPLE AVENUE  
LONG BEACH, CA 90808-2213

T: 562.589.3848  
F: 562.589.3847

www.LightingDesignAlliance.com

LD-07



### ENTRY LIGHTING

Recessed wall slot concealed in canopy.



### RECESSED LINEAR SLOT LIGHTS

Direct illumination through clear, satin, or frosted lenses.



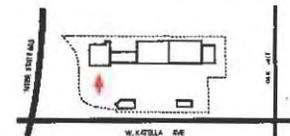
### HALO FACADE

The varying materials are highlighted using a linear light fixture tucked within a channel to enhance the textured wood finish.



### UPLIGHTING AT FACADE TRELLIS

Green wall is accented with wall cantilevered fixtures to show off color and texture.



## FACADE LIGHTING MAJOR C

LINCOLN  
PROPERTY  
COMPANY

village **LD**

LOS ALAMITOS, CA  
07 OCTOBER 2016

LIGHTING DESIGN ALLIANCE

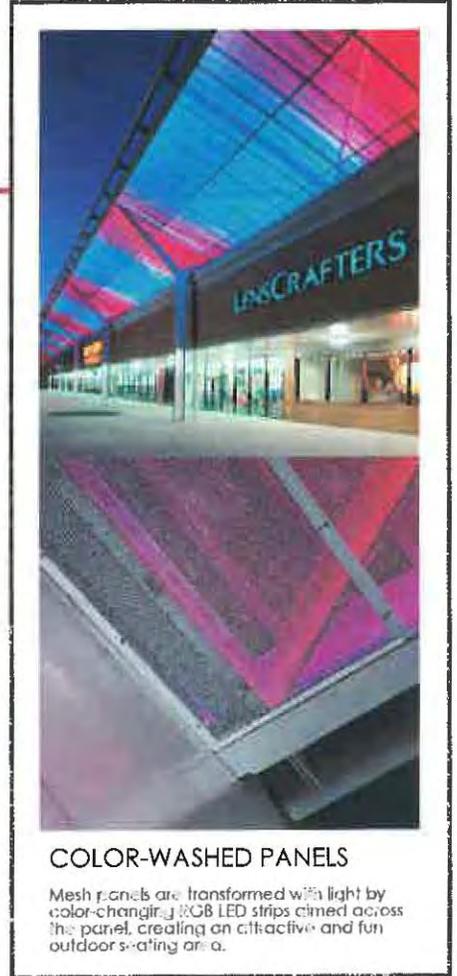
LIGHTING DESIGN ALLIANCE, INC.

LOS ANGELES  
2839 TEMPLE AVENUE  
LONG BEACH, CA 90806-2213

T: 562.980.3843  
F: 562.989.3847

[www.lightingdesignalliance.com](http://www.lightingdesignalliance.com)

LD-08



### WOOD BOLLARDS

Wood finish bollards strategically placed to reinforce pedestrian path.



### CATINARY PENDANTS

Pendants are replaced with pendant fixtures for an updated look.

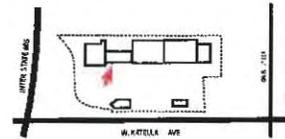
### GRAZED WOOD

Wood is grazed by a concealed linear fixture from above. Resulting to emphasize the natural color and texture.



### COLOR-WASHED PANELS

Mesh panels are transformed with light by color-changing RGB LED strips aimed across the panel, creating an attractive and fun outdoor skating area.



### PLAZA PERSPECTIVE

LINCOLN  
PROPERTY  
COMPANY

### village

LOS ALAMITOS, CA  
07 OCTOBER 2016

### LIGHTING DESIGN ALLIANCE

LIGHTING DESIGN ALLIANCE, INC.

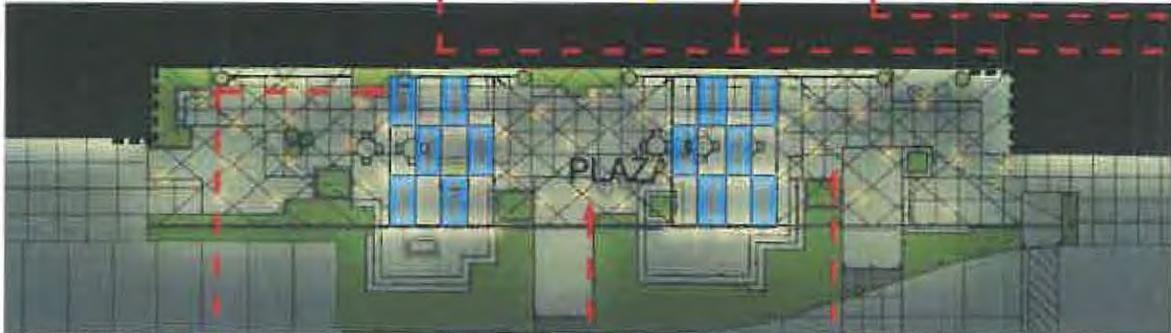
3000 WHEELER  
2000 TEMPLE AVENUE  
LONG BEACH, CA 90806-2213

562.989.3843  
562.989.3847

LD-09



FLOOR PLAN



OVERHEAD PLAN



**TREE UP-LIGHTING**

Uplighting of trees adds drama and vertical emphasis in a landscape, as well as creating safety and appeal



**WOOD BOLLARDS**

Wood finish bollards, strategically placed to reinforce pedestrian path



**UNDER-BENCH LIGHTING**



**COLOR-WASHED PANELS**

Mesh panels are transformed with light by color-changing RGB LED strips aimed across the panel, creating an attractive and fun outdoor seating area.



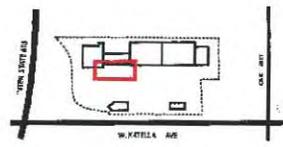
**CATENARY PENDANTS**

Catenary pendants are strung across the canopy openings to add light and visual interest.



**DOWNLIGHTS**

Downlights are concealed in the canopy, the trellis, and the trellis columns to add general illumination to the space.



**PLAZA PLAN**

LINCOLN PROPERTY COMPANY

**village**

LOS ALAMITOS, CA  
07 OCTOBER 2014

**LIGHTING DESIGN ALLIANCE**

LIGHTING DESIGN ALLIANCE, INC.  
LOS ANGELES  
2030 TEMPLE AVENUE  
LONG BEACH, CA 90806-3213

T: 562.988.3845  
F: 562.588.3847

www.lightingdesignalliance.com

LD-10

# village 605

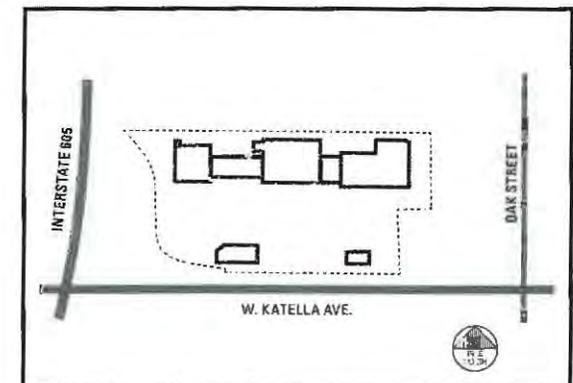
LOS ALAMITOS

3131 KATELLA AVE,  
LOS ALAMITOS, CA 90720

## SIGN PROGRAM

**PROPERTY OWNER**  
LINCOLN PROPERTY CO.  
2000 MCKINNEY AVE. SUITE 1000  
DALLAS, TX 75201  
214.740.3300

**PROGRAM DESIGNER**  
JB3D  
731 N. MAIN STREET  
ORANGE, CA 92868  
CONTACT: IAN JAHNS  
714.204.0077  
IJAHNS@JB3D.COM



October 11, 2016

VILLAGE 605 SIGN PROGRAM No.: --

## SIGNAGE OVERVIEW

SIGN TYPE	SIGN-SPECIFIC PAGE	DESCRIPTION	SIGN LOCATION	MAX. QUANTITY	MAX. HEIGHT	MAX. WIDTH	MAX. SIGN AREA	PERMIT REQUIRED	LOGOS ALLOWED	ILLUMINATION PERMITTED
A	1.0	Freeway Pylon	Ground	1	120'-0"	50'-0"	6,000 Sq. Ft.	Yes	Yes	Yes
B	2.0	Entry Monument	Ground	2	15'-0"	4'-0"	60 Sq. Ft.	Yes	Project Name Only	Yes
C	3.0	Tenant Monument	Ground	3	15'-0"	4'-0"	60 Sq. Ft.	Yes	Yes	Yes
D	4.0	Entry Tenant Wall	Ground	1	12'-0"	7'-0"	84 Sq. Ft.	Yes	Yes	Yes
E	5.0	Art Wall	On Building	1	8'-0"	35'-0"	280 Sq. Ft.	Yes	No	No
F	6.0	Building Tenant ID	On Building	27	15'-0"	Varies Per Elevation*	Varies Per Elevation*	Yes	Yes	Yes
G	7.0	Secondary Tenant ID	On Building	9	3'-0"	Varies Per Elevation*	Varies Per Elevation*	Yes	Yes	Yes
H	8.0	Blade Sign	On Building	TBD	24"	36"	6 Sq. Ft.	Yes	Yes	Yes
I	9.0	Address Sign	On Building	7	17"	4'-0"	6 Sq. Ft.	No	No	Yes

\* BUILDING TENANT ID WIDTH VARIES PER ELEVATION (SEE PAGES 6.3-6.6)

\* SECONDARY TENANT ID WIDTH VARIES PER ELEVATION (SEE PAGE 7.1-7.2)

# SITE PLAN

## OVERALL SITE SIGNAGE

### SIGN TYPE - LEGEND

- A - Freeway Pylon
- B - Entry Monument
- C - Tenant Monument
- D - Entry Tenant Wall

SEE PAGE 0.3-0.6 FOR ADDITIONAL SIGNAGE

\*CODE SIGNS NOT SHOWN  
\*APPROX. POSITIONS



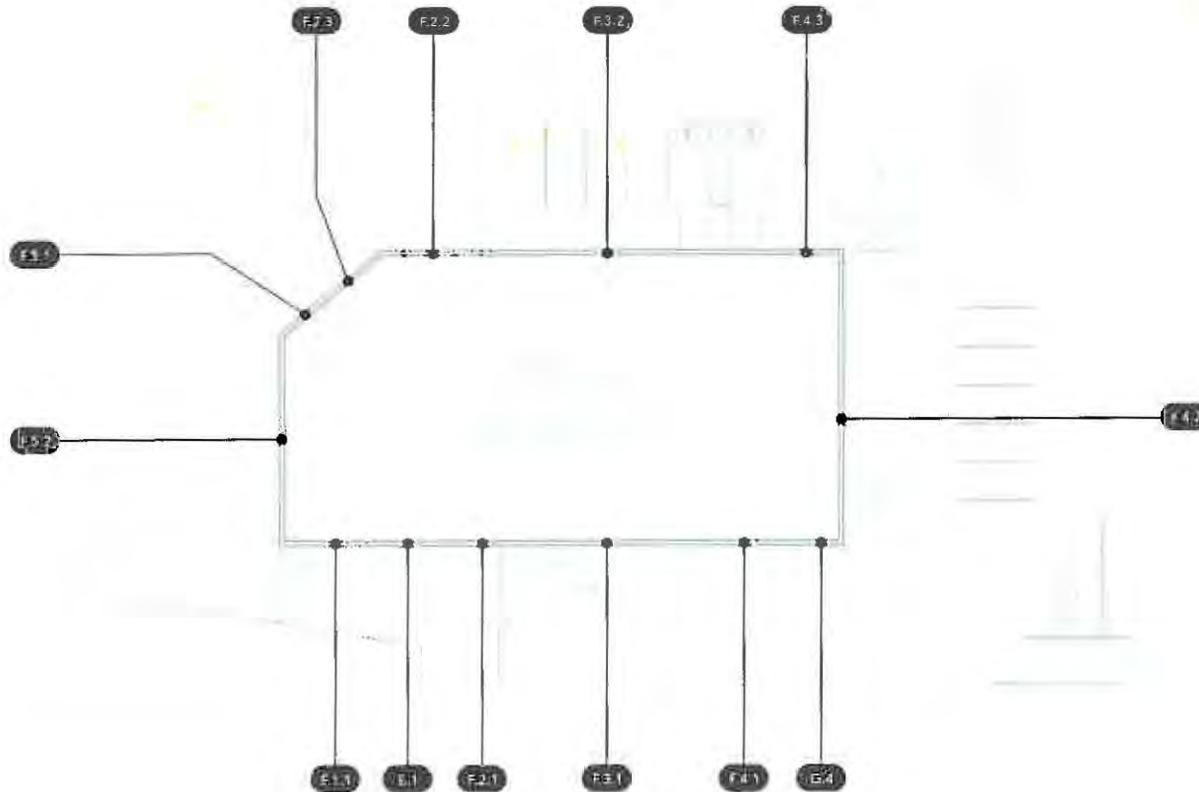
# SITE PLAN

## ON BUILDING SIGNAGE - PAD A

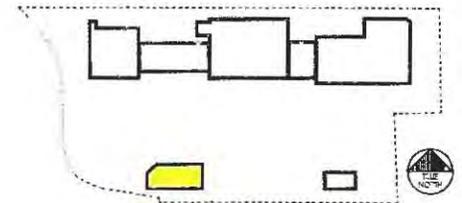
### SIGN TYPE - LEGEND

- E - Art Wall
- F - Building Tenant ID
- G - Secondary Tenant ID
- H - Blade Signs  
(LOCATIONS TBD AS NEEDED)
- I - Address Sign  
(LOCATIONS TBD AS NEEDED)

APPROX. POSITIONS



### KEY PLAN



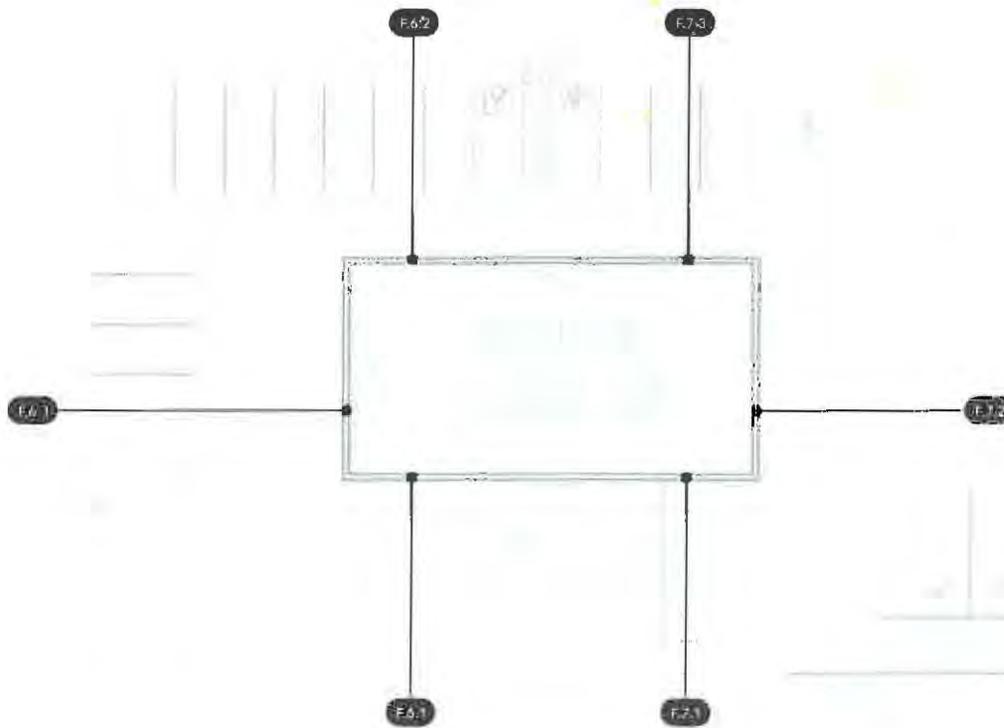
# SITE PLAN

ON BUILDING SIGNAGE - PAD B

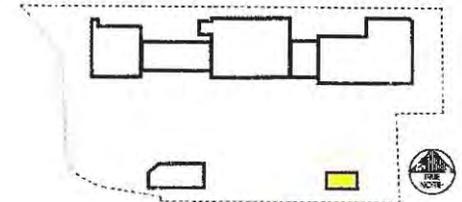
## SIGN TYPE - LEGEND

- F - Building Tenant ID
- G - Secondary Tenant ID
- H - Blade Signs  
(LOCATIONS TBD AS NEEDED)
- I - Address Sign  
(LOCATIONS TBD AS NEEDED)

\*APPROX. POSITIONS



## KEY PLAN



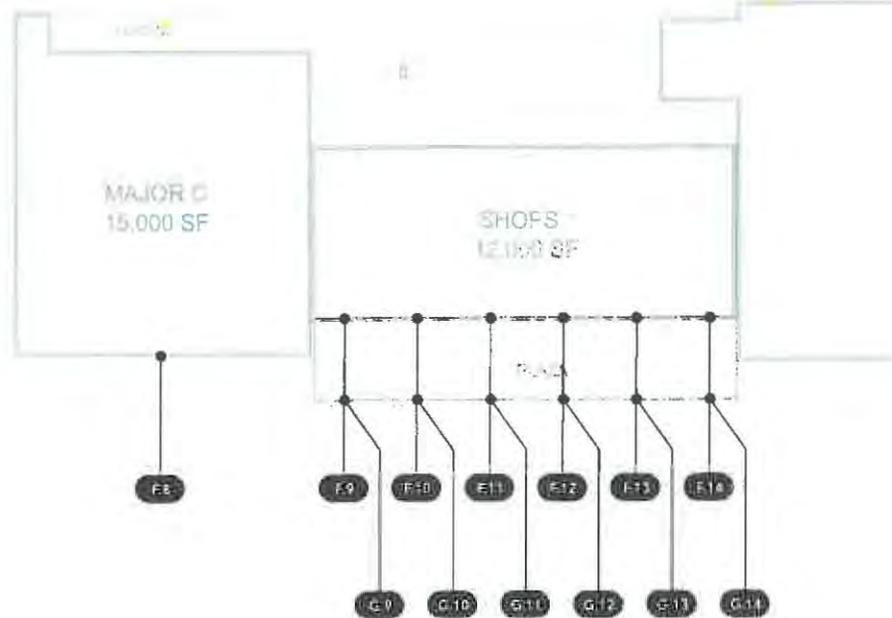
# SITE PLAN

## ON BUILDING SIGNAGE - MAJOR A & SHOPS 1

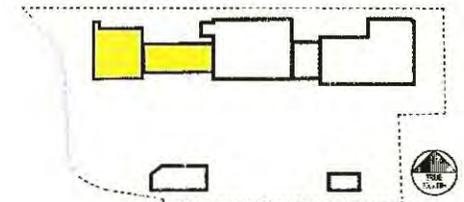
### SIGN TYPE - LEGEND

- F - Building Tenant ID
- G - Secondary Tenant ID
- H - Blade Signs  
(LOCATIONS TBD AS NEEDED)
- I - Address Sign  
(LOCATIONS TBD AS NEEDED)

\*APPROX. POSITIONS



### KEY PLAN



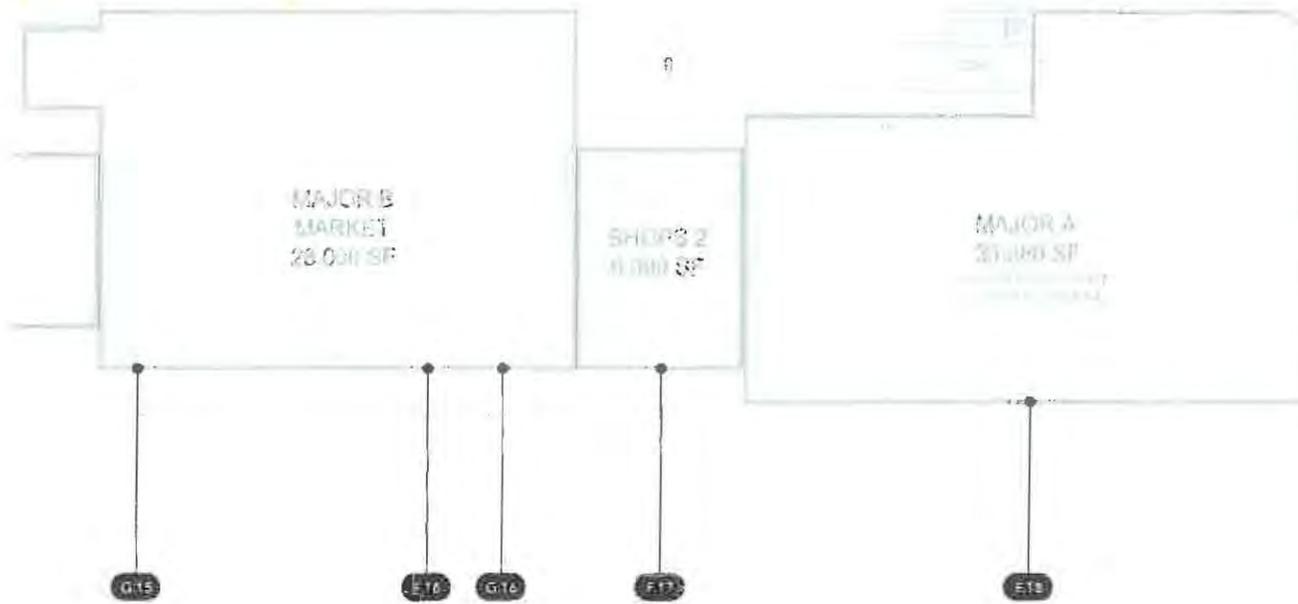
# SITE PLAN

ON BUILDING SIGNAGE - MAJOR B, C, & OUTDOOR

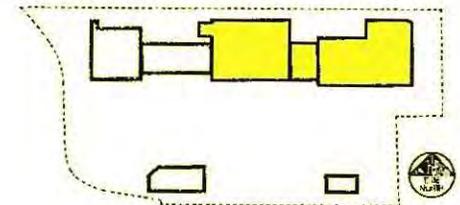
## SIGN TYPE - LEGEND

- F - Building Tenant ID
- G - Secondary Tenant ID
- H - Blade Signs  
(LOCATIONS TBD AS NEEDED)
- I - Address Sign  
(LOCATIONS TBD AS NEEDED)

\*APPROX. POSITIONS

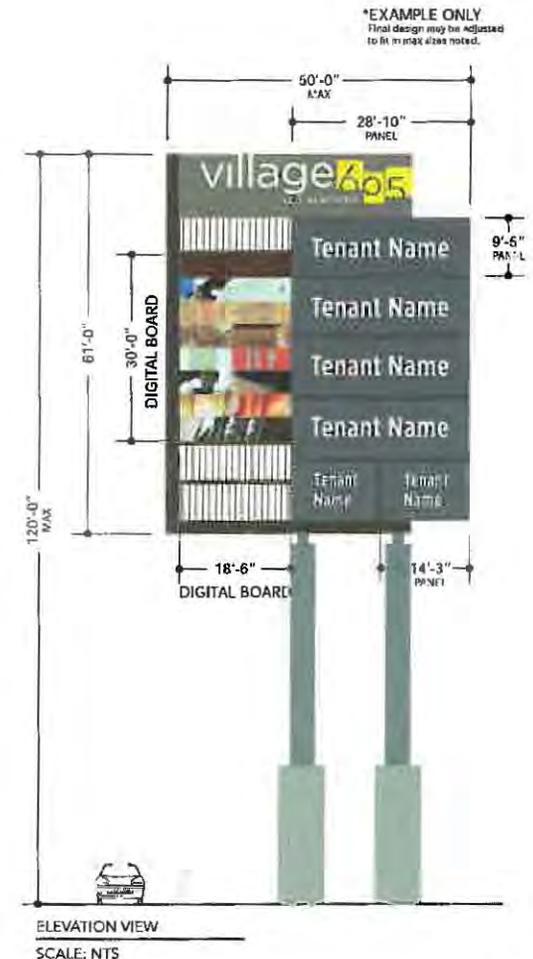


## KEY PLAN



<b>PURPOSE</b>	To identify business names occupying the building suites within the center. Tenants are defined as an occupant who is deemed by the Property Owner, per their lease, to have the right to have their company name on the freeway pylon.
<b>MAXIMUM NUMBER</b>	One.
<b>LOCATION</b>	Behind property line.
<b>ORIENTATION</b>	Perpendicular to freeway. Double-faced
<b>SIGN COPY</b>	Business name and/or logo per defined location, two-lines of copy maximum.
<b>MAX. SIGN AREA &amp; SIZE</b>	Width: 50'-0" Height: 61'-0" Sign Area: 3,050sq. ft. Max
<b>SIGN CONSTRUCTION</b>	To be completed by a licensed contractor / professional sign fabricator (cabinet signs with translucent or transparent backgrounds are not permitted). Aluminum frame and/or architectural / structural metal materials permitted. All materials to be standard construction grade.
<b>ILLUMINATION</b>	Internally illuminated. No exposed neon lighting allowed.
<b>LOGO / LOGOTYPE</b>	Permitted. Must be approved by the Property Owner.
<b>LETTER STYLE</b>	Logo-typefaces permitted. Lettering must be approved by the Property Owner. If no logo-type is approved, tenant must use project font, all white in color.
<b>COLORS</b>	White, Gray, Green, Beige, Brown, and RGB

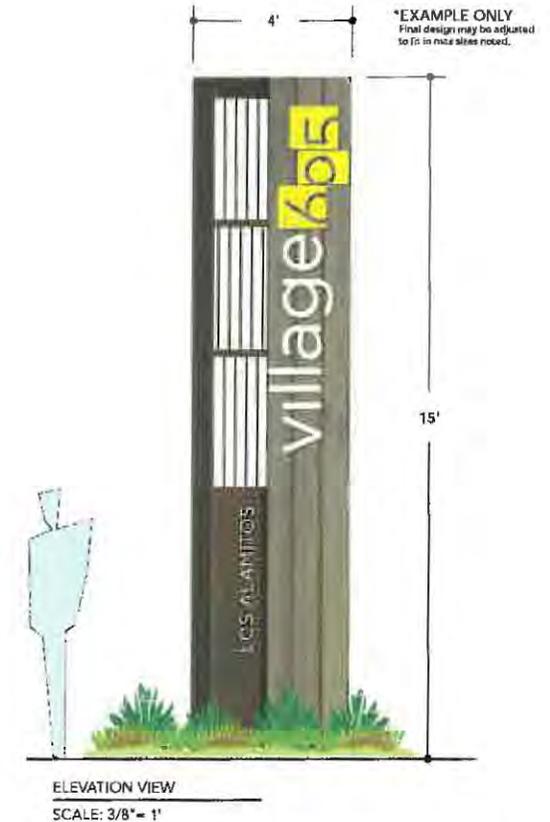
## SIGN TYPE A FREEWAY PYLON



<b>PURPOSE</b>	To identify the center.
<b>MAXIMUM NUMBER</b>	Two.
<b>LOCATION</b>	At entrance from Katella as you drive in.
<b>ORIENTATION</b>	Angled toward entrance from street. Single-faced.
<b>SIGN COPY</b>	Project name.
<b>MAX. SIGN AREA &amp; SIZE</b>	Width: 4'-0" Height: 15'-0" Sign Area: 60sq. ft.
<b>SIGN CONSTRUCTION</b>	To be completed by a licensed contractor / professional sign fabricator (cabinet signs with translucent or transparent backgrounds are not permitted). Aluminum frame and or architectural / structural metal materials permitted. All materials to be standard construction grade.
<b>ILLUMINATION</b>	Concealed, external, low-profile, floodlighting; or internally illuminated in a manner that lights only the sign copy. Illumination of sign background is prohibited. Lighting shall be designed so as not to cause glare to motorists. Exposed neon and exposed raceways are prohibited
<b>LOGO / LOGOTYPE</b>	Permitted for project name only.
<b>LETTER STYLE</b>	Sign copy color should contrast with background color.
<b>COLORS</b>	White, Gray, Green, Beige and Brown.

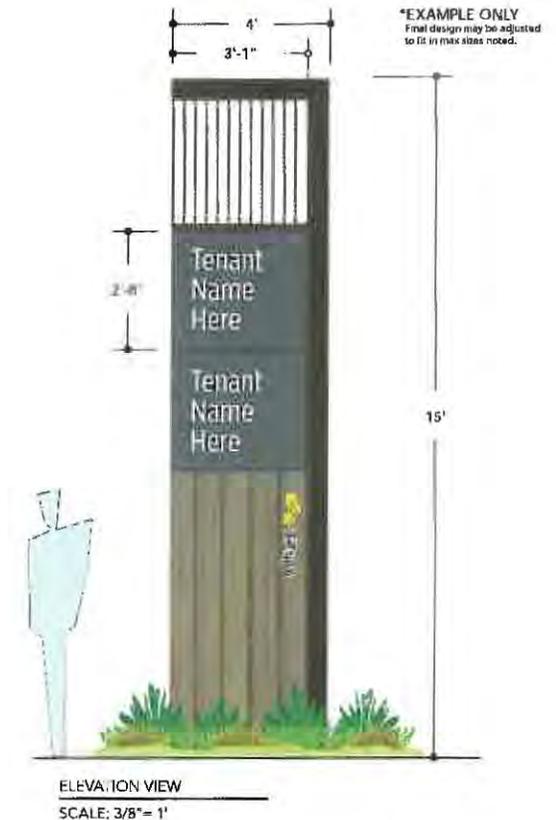
## SIGN TYPE B

### ENTRY MONUMENT



<b>PURPOSE</b>	To identify the name and / or address of a building & its tenants.
<b>MAXIMUM NUMBER</b>	Three.
<b>LOCATION</b>	Within property lines, outside of limited use areas along Katella.
<b>ORIENTATION</b>	Perpendicular to street.
<b>SIGN COPY</b>	Project name and / or address up to two tenant names on each side. Brand names and info which makes sign appear to be an advertisement, such as ® and ™ are prohibited.
<b>MAX. SIGN AREA &amp; SIZE</b>	Width: 4'-0" Height: 15'-0" Sign Area: 60sq. ft.
<b>SIGN CONSTRUCTION</b>	To be completed by a licensed contractor / professional sign fabricator (cabinet signs with translucent or transparent backgrounds are not permitted). Aluminum frame and or architectural / structural metal materials permitted. All materials to be standard construction grade.
<b>ILLUMINATION</b>	Concealed, external, low-profile, floodlighting; or internally illuminated in a manner that lights only the sign copy. Illumination of sign background is prohibited. Lighting shall be designed so as not to cause glare to motorists. Exposed neon and exposed raceways are prohibited
<b>LOGO / LOGOTYPE</b>	Permitted, must be approved by the Property Owner.
<b>LETTER STYLE</b>	Sign copy color should contrast with background color.
<b>COLORS</b>	White, Gray, Green, Beige and Brown.

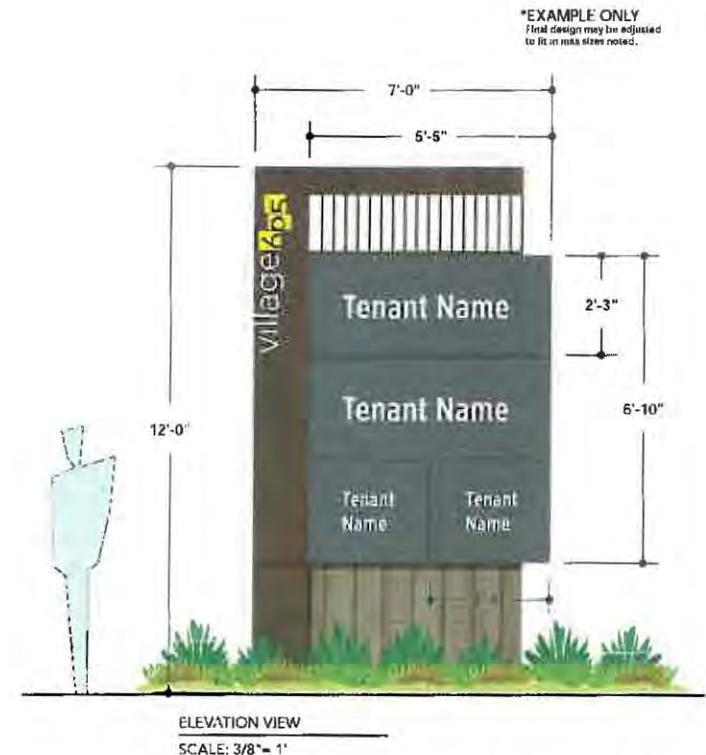
## SIGN TYPE C TENANT MONUMENT



<b>PURPOSE</b>	To identify the project name, addresses, and or its tenants.
<b>MAXIMUM NUMBER</b>	One.
<b>LOCATION</b>	At entrance of site from Katella.
<b>ORIENTATION</b>	Perpendicular to entry. Single-faced
<b>SIGN COPY</b>	Project name and / or address up to four tenant names. Brand names and info which makes sign appear to be an advertisement, such as ® and ™ are prohibited.
<b>MAX. SIGN AREA &amp; SIZE</b>	Width: 7'-0" Height: 12'-0" Sign Area: 84sq. ft.
<b>SIGN CONSTRUCTION</b>	To be completed by a licensed contractor / professional sign fabricator (cabinet signs with translucent or transparent backgrounds are not permitted). Aluminum frame and or architectural / structural metal materials permitted. All materials to be standard construction grade.
<b>ILLUMINATION</b>	Concealed, external, low-profile, floodlighting; or internally illuminated in a manner that lights only the sign copy. Illumination of sign background is prohibited. Lighting shall be designed so as not to cause glare to motorists. Exposed neon and exposed raceways are prohibited
<b>LOGO / LOGOTYPE</b>	Permitted, must be approved by the Property Owner.
<b>LETTER STYLE</b>	Sign copy color should contrast with background color.
<b>COLORS</b>	White, Gray, Green, Beige and Brown.

## SIGN TYPE D

### ENTRY TENANT WALL



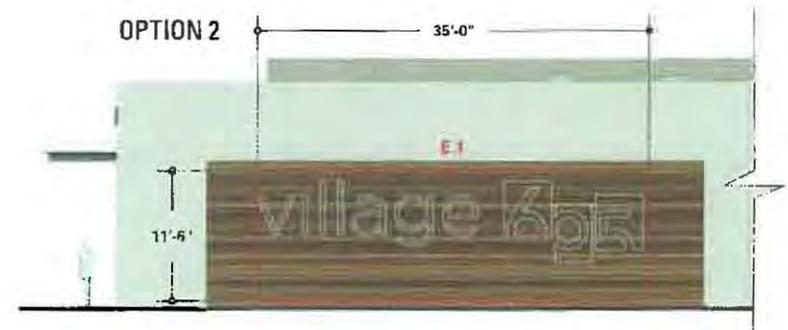
<b>PURPOSE</b>	To identify the center.
<b>MAXIMUM NUMBER</b>	One.
<b>LOCATION</b>	Location as indicated in the following exhibits.
<b>ORIENTATION</b>	Parallel to wall toward street, parking lot or pedestrian area.
<b>SIGN COPY</b>	Project name and / or tenant signs. Brand names and info which makes sign appear to be an advertisement, such as ® and ™ are prohibited.
<b>MAX. SIGN AREA &amp; SIZE</b>	Width: 35'-0" Height: 11'-6" Sign Area: 402.5sq. ft. Max
<b>SIGN CONSTRUCTION</b>	To be completed by a licensed contractor / professional sign fabricator (cabinet signs with translucent or transparent backgrounds are not permitted). Aluminum frame and or architectural / structural metal materials permitted. All materials to be standard construction grade.
<b>ILLUMINATION</b>	None.
<b>LOGO / LOGOTYPE</b>	Permitted. Must be approved by the Property Owner.
<b>LETTER STYLE</b>	Logo-typefaces permitted. Lettering must be approved by the Property Owner. If no logo-type is approved, tenant must use project font, all white in color.
<b>COLORS</b>	Logo colors must contrast building facade. <i>Exact finish details tbd.</i>

## SIGN TYPE E ART WALL

\*EXAMPLE ONLY  
Final design may be adjusted  
to fit in max sizes noted.



ELEVATION - TYPICAL  
SCALE: 3/32" = 1'



ELEVATION - TYPICAL  
SCALE: 3/32" = 1'

<b>PURPOSE</b>	To identify primary business names occupying the Village 605. Primary tenants are defined as an occupant who is deemed by the Property Owner, per their lease, to have the right to have their company name on their storefront.
<b>MAXIMUM NUMBER</b>	One per tenant. An individual tenant shall have one sign per building-front elevation, however, multiple signs may be allowed in certain instances for larger tenants as indicated in the following exhibits.
<b>LOCATION</b>	Mounted to existing structural mounting system installed by Property Owner. Locations as indicated in the following exhibits.
<b>ORIENTATION</b>	Parallel to wall toward street, parking lot or pedestrian area.
<b>SIGN COPY</b>	Only name and / or symbol of building occupant. Brand names and information which make the sign appear to be advertisement, such as ® and ™ are prohibited.
<b>MAX. SIGN AREA &amp; SIZE</b>	Width: Varies per elevation (see pages 6.1-6.6) Height: See elevations Sign Area: 1.5 times lineal foot of tenant frontage plus 30%.
<b>SIGN CONSTRUCTION</b>	Individual letter and logos only. No cabinet signs or cloud signs allowed. Tenant is only permitted to mount directly to structural mounting system. Align business name to center of aluminum rail to be attached to structural mounting system. Structural mounting system is intended to preserve architectural features/materials. No exposed wiring allowed.
<b>ILLUMINATION</b>	Halo (indirect / silhouette) or face permitted. No exposed neon lighting allowed.
<b>LOGO / LOGOTYPE</b>	Permitted. Must be approved by the Property Owner.
<b>LETTER STYLE</b>	Logo-typefaces permitted. Lettering must be approved by the Property Owner. If no logo-type is approved, tenant must use project font, all white in color.
<b>COLORS</b>	Tenant logo colors must contrast building facade. <i>Exact finish details to vary.</i>

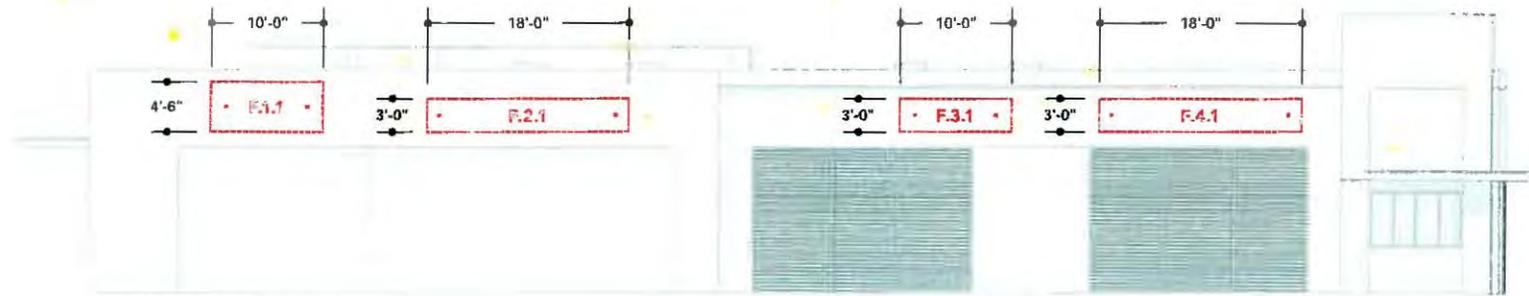
## SIGN TYPE F

BUILDING TENANT ID

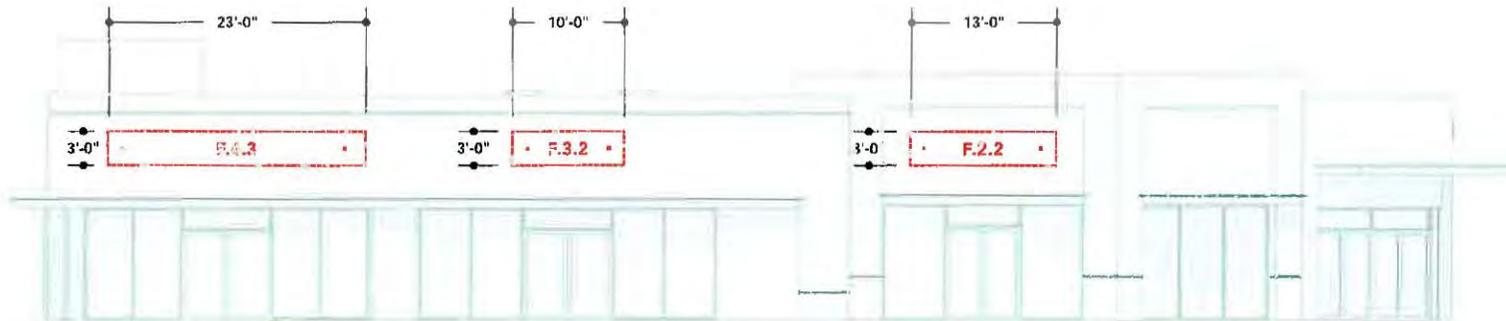


# SIGN TYPE F

BUILDING TENANT ID ELEVATION



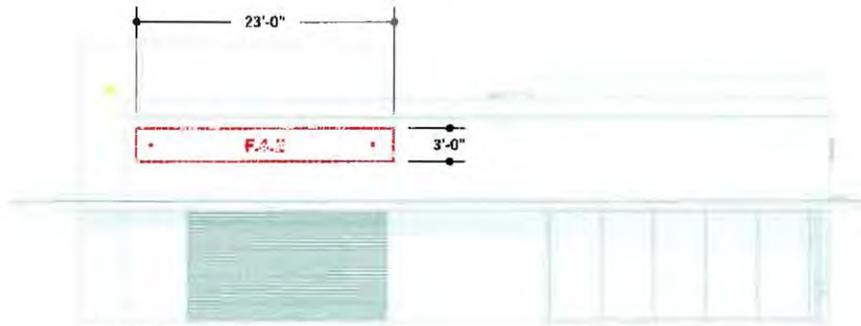
PAD A - NORTH ELEVATION  
SCALE: 3/32" = 1'



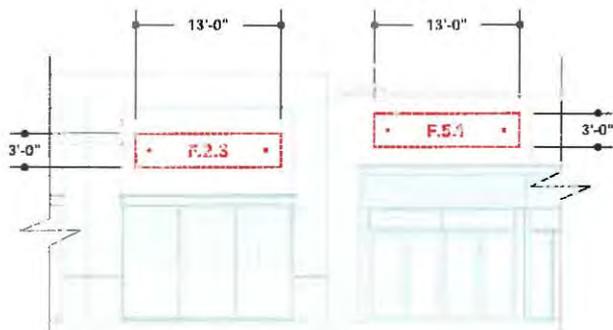
PAD A - SOUTH ELEVATION  
SCALE: 3/32" = 1'

# SIGN TYPE F

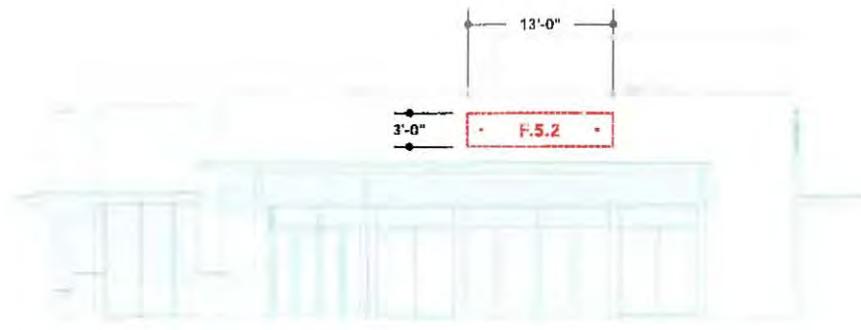
BUILDING TENANT ID ELEVATION



PAD A - WEST ELEVATION  
SCALE: 3/32" = 1'



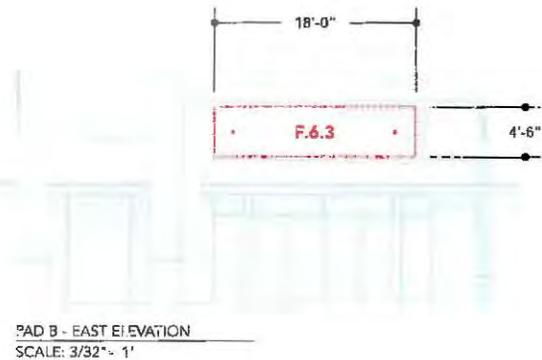
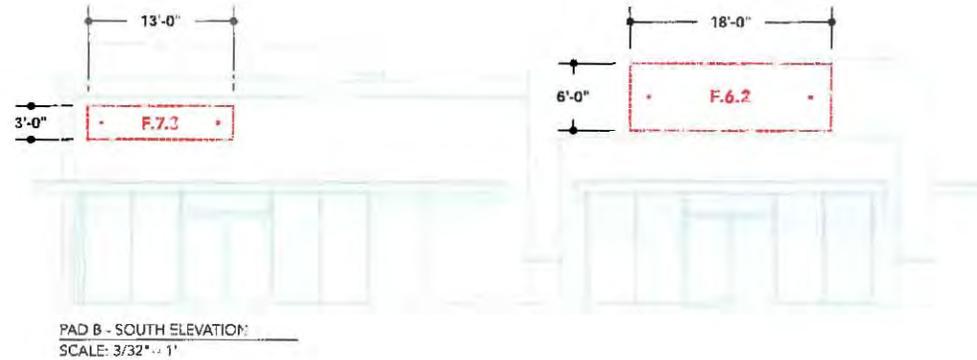
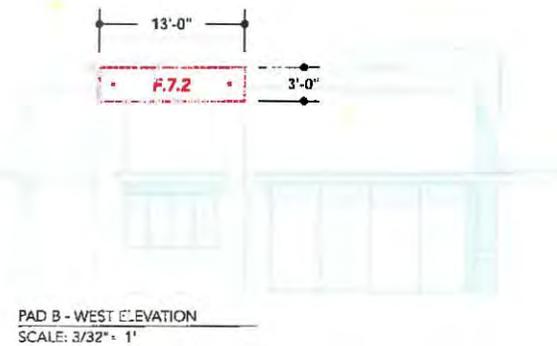
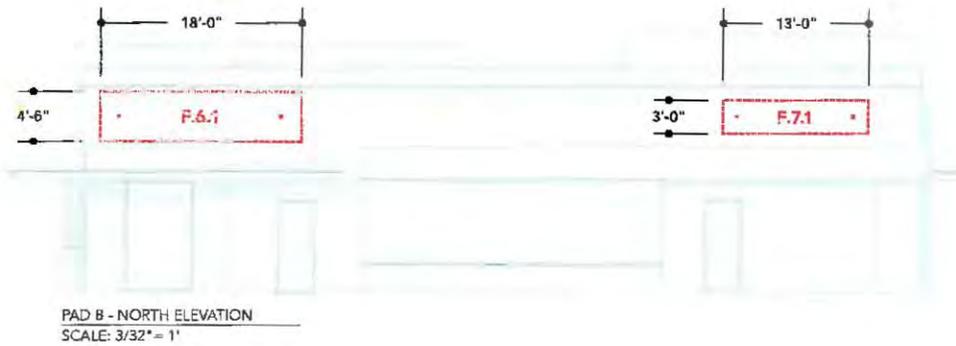
PAD A - SOUTH-EAST ELEVATION  
SCALE: 3/32" = 1'



PAD A - EAST ELEVATION  
SCALE: 3/32" = 1'

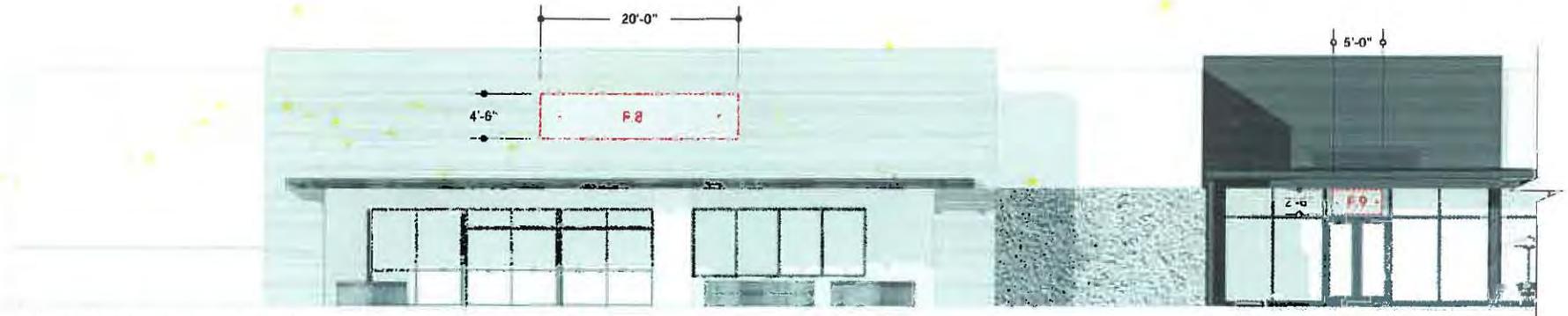
# SIGN TYPE F

BUILDING TENANT ID ELEVATION

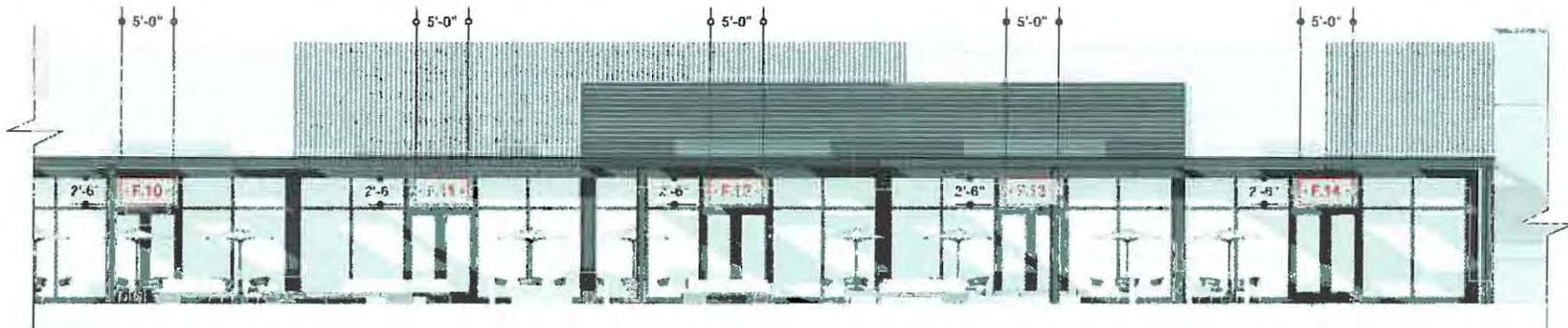


# SIGN TYPE F

BUILDING TENANT ID ELEVATION

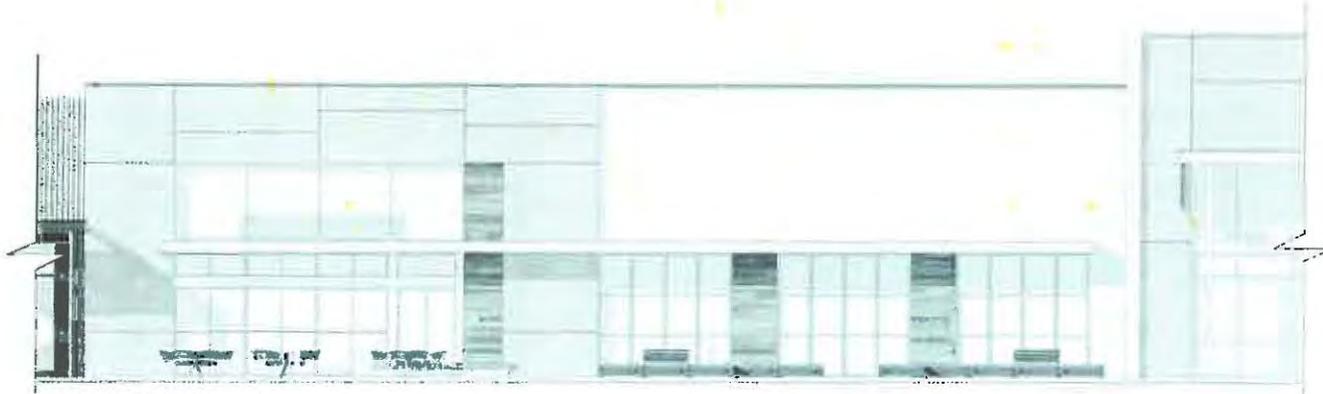


MAJOR C & S:OPS 1.1 - NORTH ELEVATION  
SCALE: 3/32" = 1'

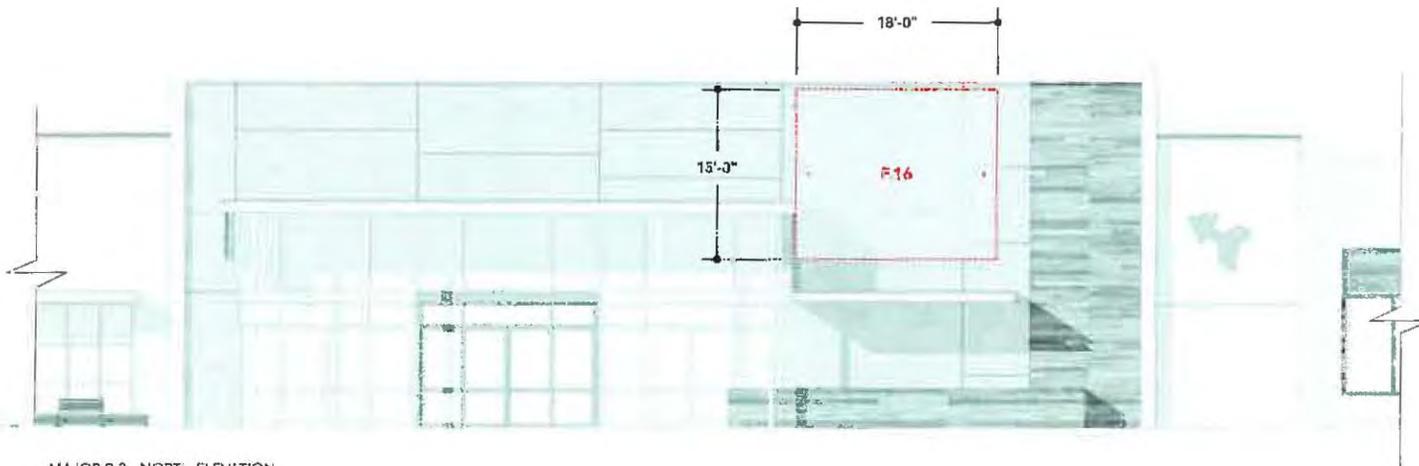


S:OPS 1.2 - NORTH ELEVATION  
SCALE: 3/32" = 1'

**SIGN TYPE F**  
BUILDING TENANT ID ELEVATION



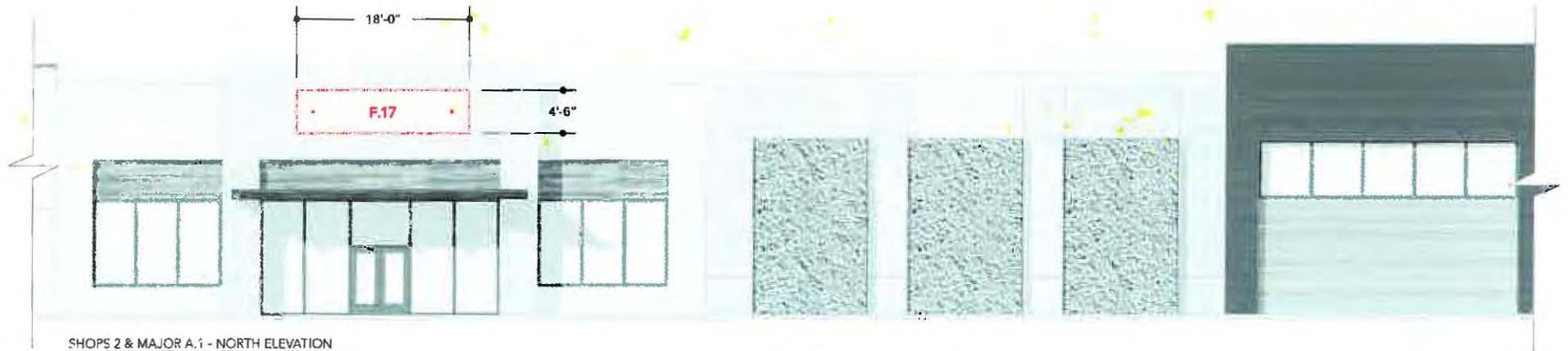
MAJOR B.1 - NORTH ELEVATION  
SCALE: 3/32" = 1'



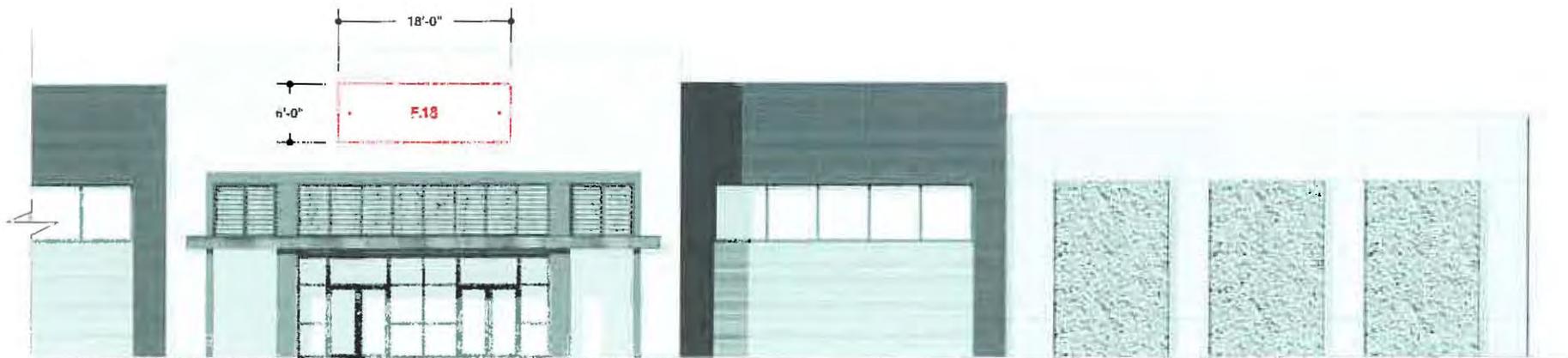
MAJOR B.2 - NORTH ELEVATION  
SCALE: 3/32" = 1'

# SIGN TYPE F

BUILDING TENANT ID ELEVATION



SHOPS 2 & MAJOR A.1 - NORTH ELEVATION  
SCALE: 3/32" = 1'

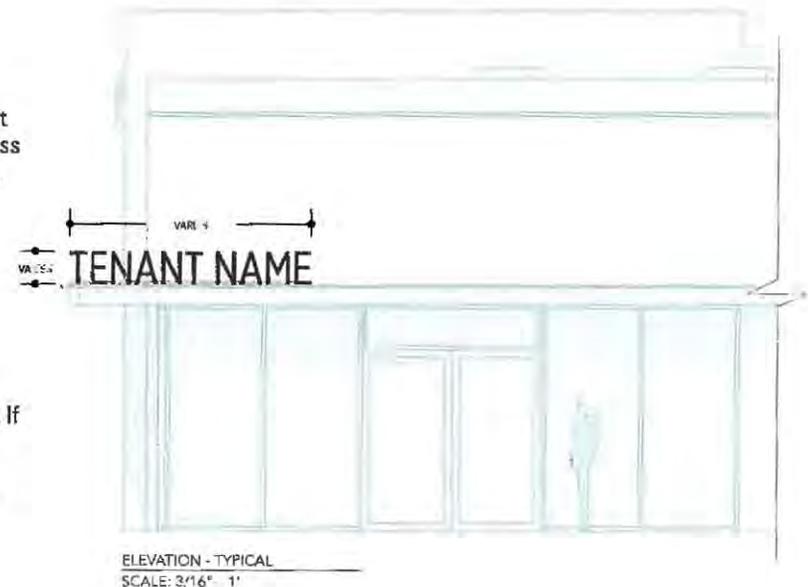


MAJOR A.2 - NORTH ELEVATION  
SCALE: 3/32" = 1'

<b>PURPOSE</b>	To identify primary business names occupying the Village 605. Primary tenants are defined as an occupant who is deemed by the Property Owner, per their lease, to have the right to have their company name on their storefront.
<b>MAXIMUM NUMBER</b>	One per tenant. An individual tenant shall have one sign per building-front pergola, however, some tenants do not have pergola for signage.
<b>LOCATION</b>	Mounted to existing structural mounting system installed by Property Owner. Locations as indicated in the following exhibits.
<b>ORIENTATION</b>	Parallel to wall toward street, parking lot or pedestrian area.
<b>SIGN COPY</b>	Only name and / or symbol of building occupant. Brand names and information which make the sign appear to be advertisement, such as ® and ™ are prohibited.
<b>MAX. SIGN AREA &amp; SIZE</b>	Width: Varies per elevation (see page 7.1) Height: See elevations Sign Area: 1.5 times lineal foot of tenant frontage plus 30%.
<b>SIGN CONSTRUCTION</b>	Individual letter and logos only. No cabinet signs or cloud signs allowed. Tenant is only permitted to mount directly to structural mounting system. Align business name to center of aluminum bar to be attached to structural mounting system. Structural mounting system is intended to preserve architectural features/materials. No exposed wiring allowed & back of signage must be finished.
<b>ILLUMINATION</b>	No exposed neon lighting allowed.
<b>LOGO / LOGOTYPE</b>	Permitted. Must be approved by the Property Owner.
<b>LETTER STYLE</b>	Logo-typefaces permitted. Lettering must be approved by the Property Owner. If no logo-type is approved, tenant must use project font, all white in color.
<b>COLORS</b>	Tenant logo colors must contrast building facade. <i>Exact finish details to vary.</i>

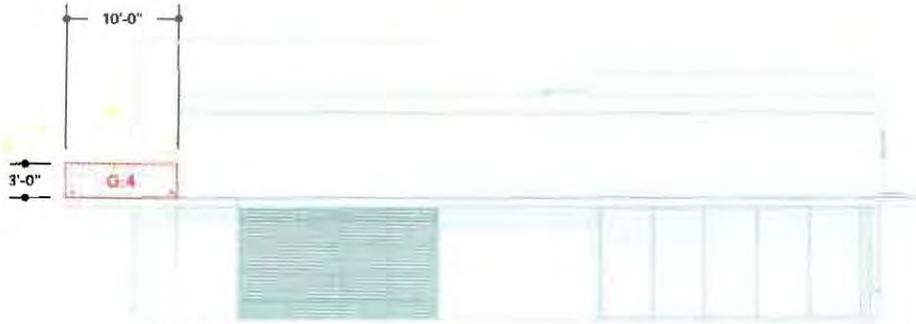
## SIGN TYPE G

SECONDARY TENANT ID



# SIGN TYPE G

SECONDARY TENANT ID ELEVATION



PAD A - WEST ELEVATION  
SCALE: 3/32" = 1'



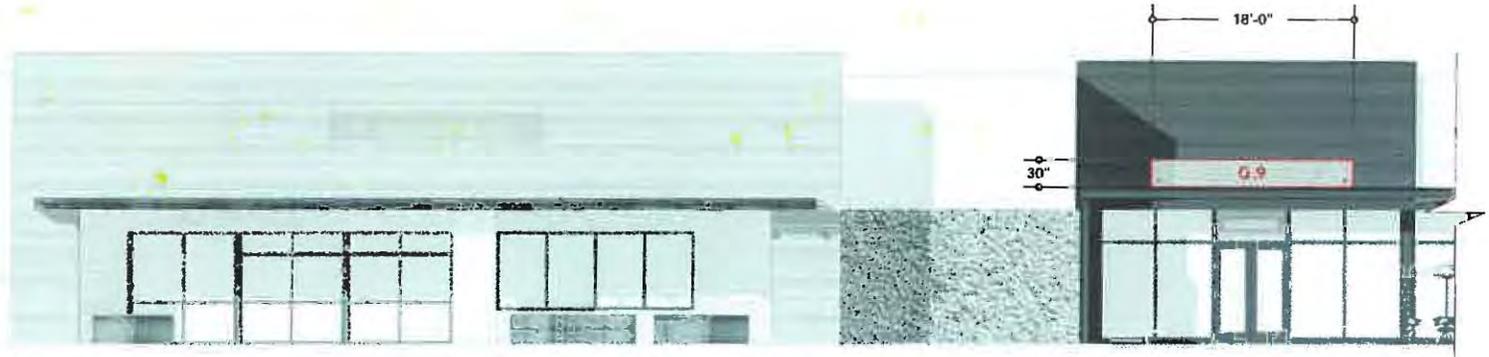
PAD A - SOUTH-EAST ELEVATION  
SCALE: 3/32" = 1'



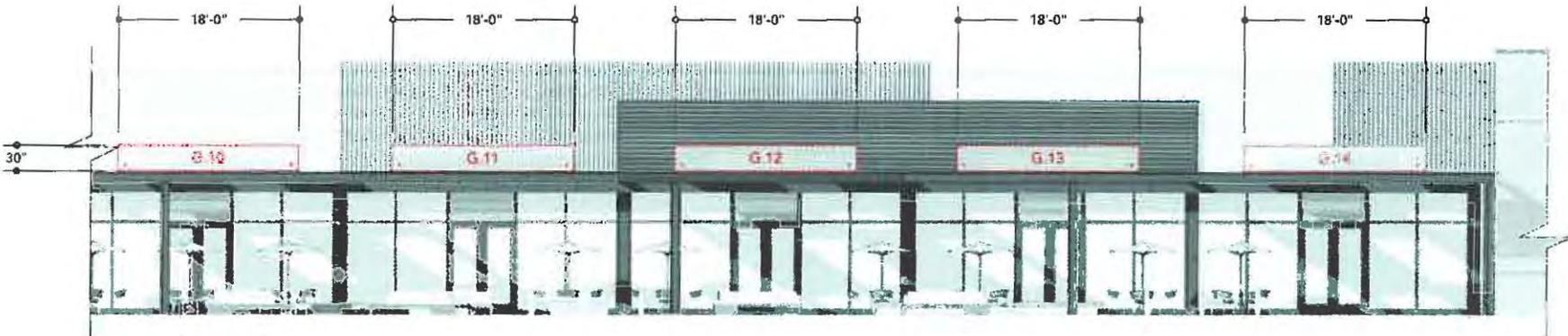
PAD A - EAST ELEVATION  
SCALE: 3/32" = 1'

# SIGN TYPE G

SECONDARY TENANT ID ELEVATION

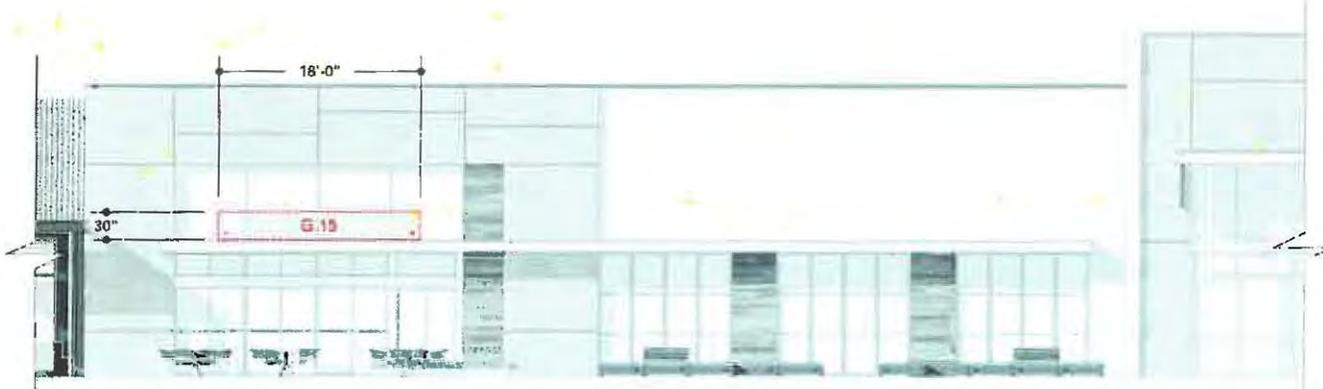


MAJOR C & SHOPS 1.1 - NORTH ELEVATION  
SCALE: 3/32" = 1'

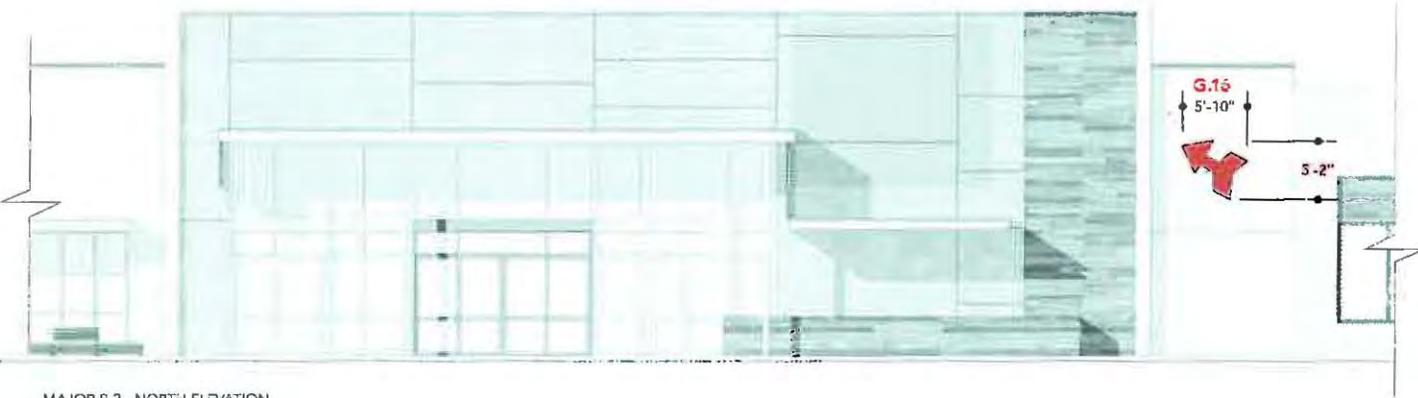


SHOPS 1.2 - NORTH ELEVATION  
SCALE: 3/32" = 1'

**SIGN TYPE G**  
SECONDARY TENANT ID ELEVATION



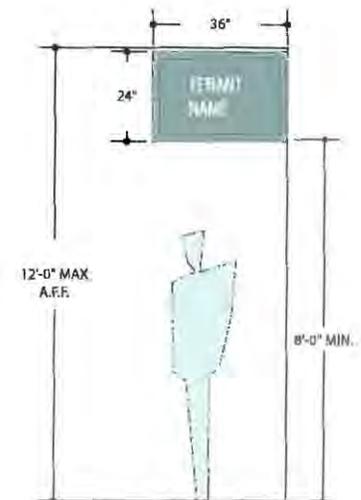
MAJOR B.1 - NORTH ELEVATION  
SCALE: 3/32" = 1'



MAJOR B.2 - NORTH ELEVATION  
SCALE: 3/32" = 1'

<b>PURPOSE</b>	Permanent wall sign at a multi-occupant retail building with exclusive exterior entrances. To identify the occupants of a multi-tenant retail building to pedestrian customers.
<b>MAXIMUM NUMBER</b>	No more than one sign per tenant space entrance.
<b>LOCATION/ ORIENTATION</b>	Perpendicular to the wall on exterior facade not to project within 2 feet of the curb line
<b>SIGN COPY</b>	Name and or logo of tenant. Info which makes sign appear to be an advertisement, such as © and ™ are prohibited.
<b>SIDES</b>	Double-sided
<b>MAX. SIGN AREA &amp; SIZE</b>	Width: 36" Height: 24" Letter Height: 12" Max Logo/Symbol Height: 20" Max Sign Area: 6 sq. ft. Max
<b>SIGN CONSTRUCTION</b>	To be completed by a licensed contractor / professional sign fabricator (cabinet signs with translucent or transparent backgrounds are not permitted). Materials may include metal and wood. Materials must be approved by Property Owner.
<b>ILLUMINATION</b>	Optional. Internally illuminated or externally illuminated signs are permitted. Exposed neon is prohibited.
<b>LOGO / LOGOTYPE</b>	Permitted.
<b>LETTER STYLE</b>	Lettering must be approved by the Property Owner. If no logo-type is approved, tenant must use project font.
<b>COLORS</b>	To be determined. Colors must be approved by Property Owner.

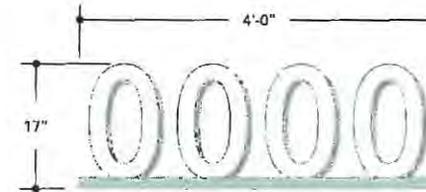
## SIGN TYPE H BLADE SIGN (TYPICAL)



ELEVATION - TYPICAL  
SCALE: 3/8" = 1'

<b>PURPOSE</b>	To identify building address.
<b>MAXIMUM NUMBER</b>	One per building.
<b>LOCATION</b>	Mounted to existing structural mounting system installed by Property Owner. Locations as indicated in the following exhibits.
<b>ORIENTATION</b>	Parallel to wall toward street, parking lot or pedestrian area.
<b>SIGN COPY</b>	Building address numbers.
<b>MAX. SIGN AREA &amp; SIZE</b>	Width: 4'-0" Height: 17" Sign Area: 6sq. ft. Max
<b>SIGN CONSTRUCTION</b>	Individual numbers only. No cabinet signs or cloud signs allowed. Numbers are only permitted to mount directly to structural mounting system. Align numbers to center of aluminum bar to be attached to structural mounting system. Structural mounting system is intended to preserve architectural features/materials. No exposed wiring allowed.
<b>ILLUMINATION</b>	Internally illuminated or halo-lit numbers. No exposed neon lighting allowed.
<b>LOGO / LOGOTYPE</b>	Not permitted.
<b>LETTER STYLE</b>	Project font only.
<b>COLORS</b>	Must contrast building facade. <i>Exact finish details to be determined.</i>

## SIGN TYPE I ADDRESS SIGN



DESIGN - TYPICAL  
SCALE: 3/4" = 1'



ELEVATION - TYPICAL  
SCALE: 3/32" = 1'

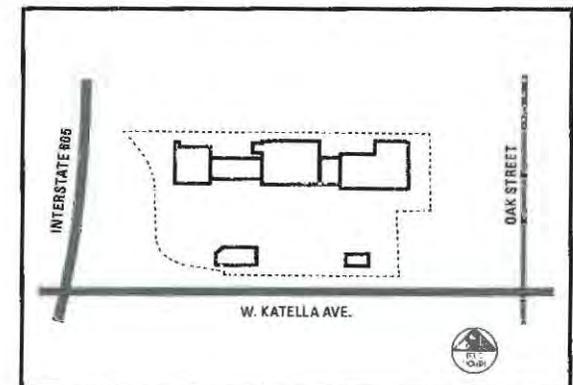


3131 KATELLA AVE,  
LOS ALAMITOS, CA 90720

SIGN PROGRAM

**PROPERTY OWNER**  
LINCOLN PROPERTY CO.  
2000 MCKINNEY AVE. SUITE 1000  
DALLAS, TX 75201  
214.740.3300

**PROGRAM DESIGNER**  
JB3D  
731 N. MAIN STREET  
ORANGE, CA 92868  
CONTACT: IAN JAHNS  
714.204.0077  
IJAHNS@JB3D.COM



October 11, 2016

**VILLAGE 605 SIGN PROGRAM No.:** --

# SIGNAGE OVERVIEW

SIGN TYPE	SIGN-SPECIFIC PAGE	DESCRIPTION	SIGN LOCATION	MAX. QUANTITY	MAX. HEIGHT	MAX. WIDTH	MAX. SIGN AREA	PERMIT REQUIRED	LOGOS ALLOWED	ILLUMINATION PERMITTED
A	1.0	Freeway Pylon	Ground	1	120'-0"	50'-0"	6,000 Sq. Ft.	Yes	Yes	Yes
B	2.0	Entry Monument	Ground	2	15'-0"	4'-0"	60 Sq. Ft.	Yes	Project Name Only	Yes
C	3.0	Tenant Monument	Ground	3	15'-0"	4'-0"	60 Sq. Ft.	Yes	Yes	Yes
D	4.0	Entry Tenant Wall	Ground	1	12'-0"	7'-0"	84 Sq. Ft.	Yes	Yes	Yes
E	5.0	Art Wall	On Building	1	8'-0"	35'-0"	280 Sq. Ft.	Yes	No	No
F	6.0	Building Tenant ID	On Building	27	15'-0"	Varies Per Elevation*	Varies Per Elevation*	Yes	Yes	Yes
G	7.0	Secondary Tenant ID	On Building	9	3'-0"	Varies Per Elevation*	Varies Per Elevation*	Yes	Yes	Yes
H	8.0	Blade Sign	On Building	TBD	24"	36"	6 Sq. Ft.	Yes	Yes	Yes
I	9.0	Address Sign	On Building	7	17"	4'-0"	6 Sq. Ft.	No	No	Yes

\* BUILDING TENANT ID WIDTH VARIES PER ELEVATION (SEE PAGES 6.1-6.6)

\* SECONDARY TENANT ID WIDTH VARIES PER ELEVATION (SEE PAGE 7.1-7.2)

# SITE PLAN

## OVERALL SITE SIGNAGE

### SIGN TYPE - LEGEND

- A - Freeway Pylon
- B - Entry Monument
- C - Tenant Monument
- D - Entry Tenant Wall

SEE PAGE 0.3-0.6 FOR ADDITIONAL SIGNAGE

\*CODE SIGNS NOT SHOWN  
\*APPROX. POSITIONS



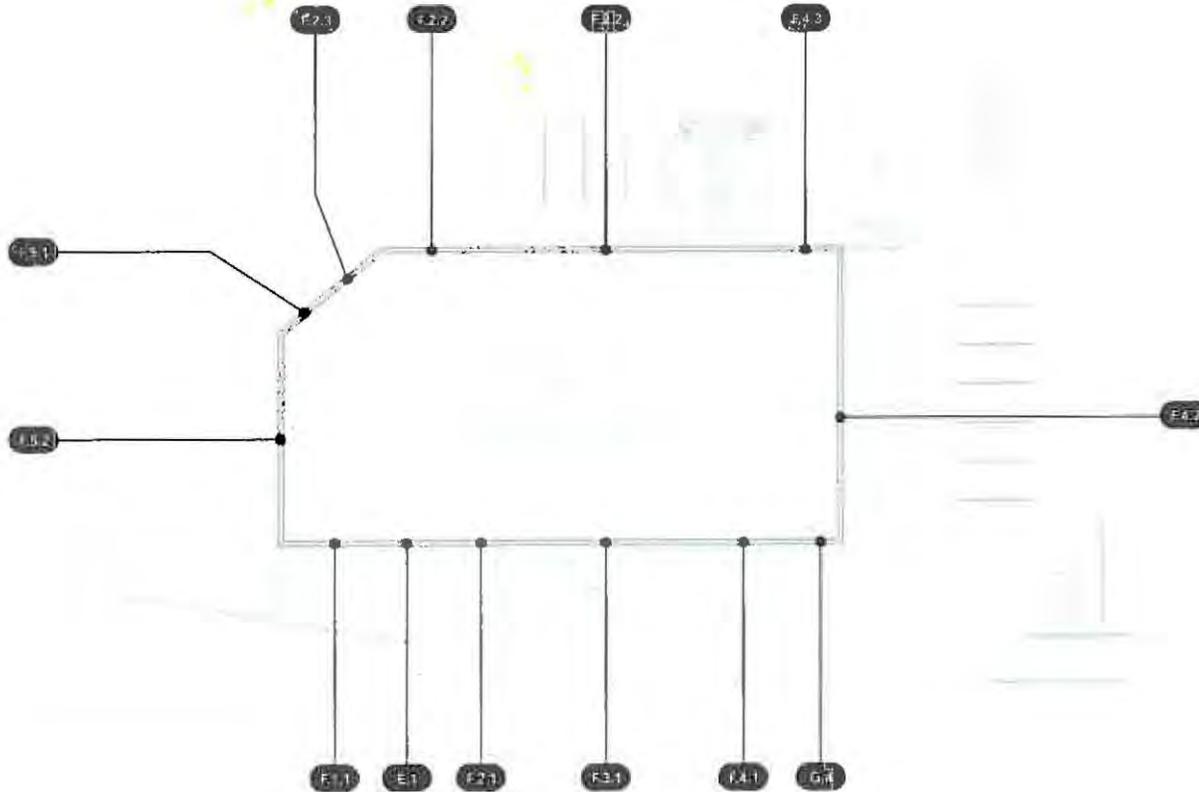
# SITE PLAN

## ON BUILDING SIGNAGE - PAD A

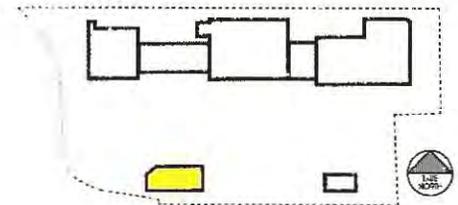
### SIGN TYPE - LEGEND

- E - Art Wall
- F - Building Tenant ID
- G - Secondary Tenant ID
- H - Blade Signs  
(LOCATIONS TBD AS NEEDED)
- I - Address Sign  
(LOCATIONS TBD AS NEEDED)

\*APPROX. POSITIONS



### KEY PLAN



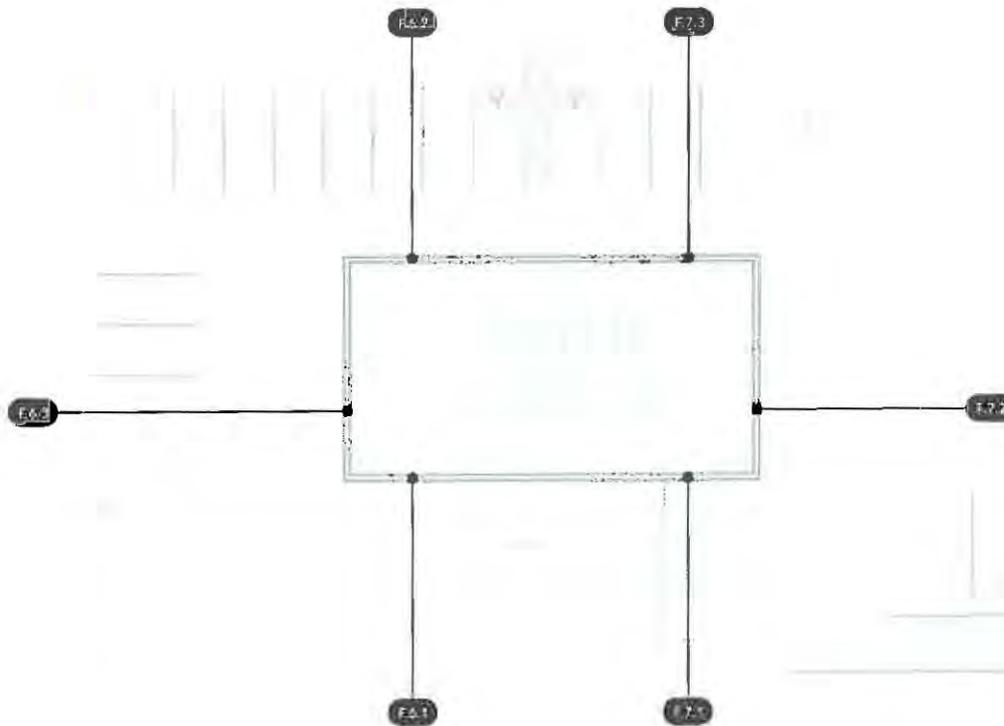
# SITE PLAN

## ON BUILDING SIGNAGE - PAD B

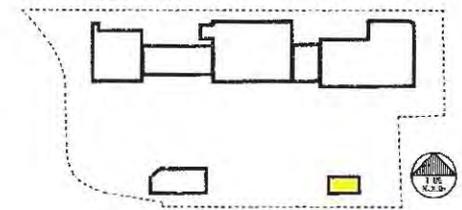
### SIGN TYPE - LEGEND

- F - Building Tenant ID
- G - Secondary Tenant ID
- H - Blade Signs  
(LOCATIONS TBD AS NEEDED)
- I - Address Sign  
(LOCATIONS TBD AS NEEDED)

APPROX. POSITIONS



### KEY PLAN



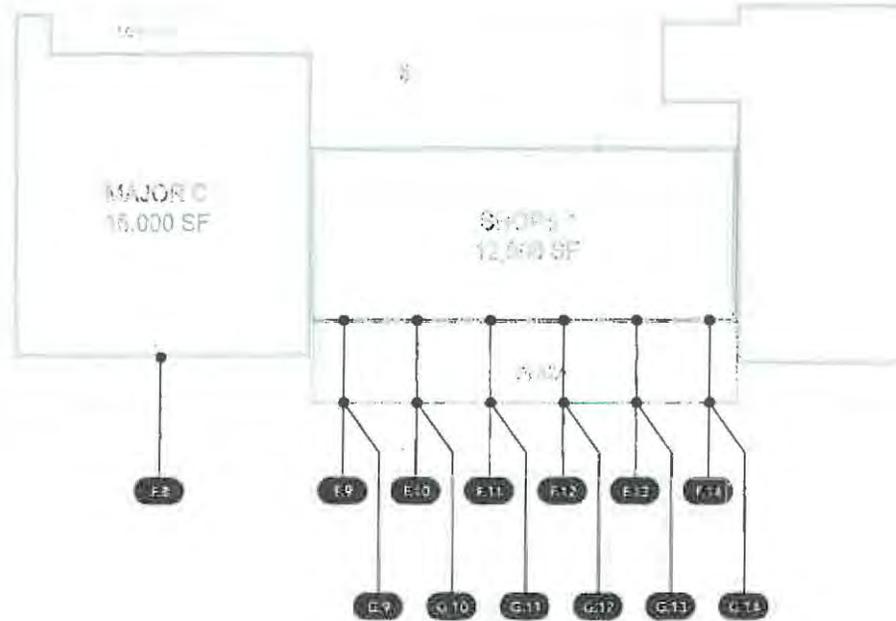
# SITE PLAN

## ON BUILDING SIGNAGE - MAJOR A & SHOPS 1

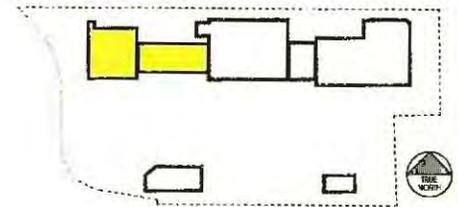
### SIGN TYPE - LEGEND

- F - Building Tenant ID
- G - Secondary Tenant ID
- H - Blade Signs  
(LOCATIONS TBD AS NEEDED)
- I - Address Sign  
(LOCATIONS TBD AS NEEDED)

\*APPROX. POSITIONS



### KEY PLAN



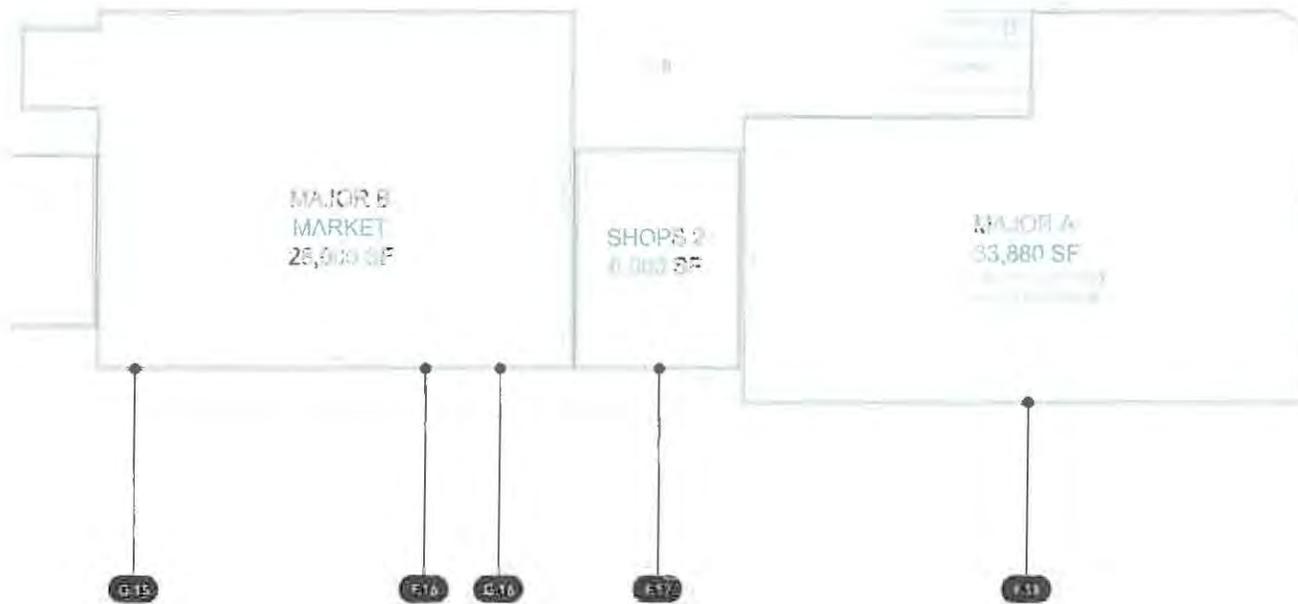
# SITE PLAN

ON BUILDING SIGNAGE - MAJOR B, C, & OUTDOOR

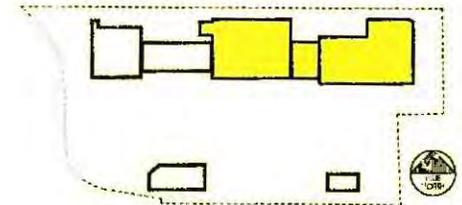
## SIGN TYPE - LEGEND

- F - Building Tenant ID
- G - Secondary Tenant ID
- H - Blade Signs  
(LOCATIONS TBD AS NEEDED)
- I - Address Sign  
(LOCATIONS TBD AS NEEDED)

\*APPROX. POSITIONS

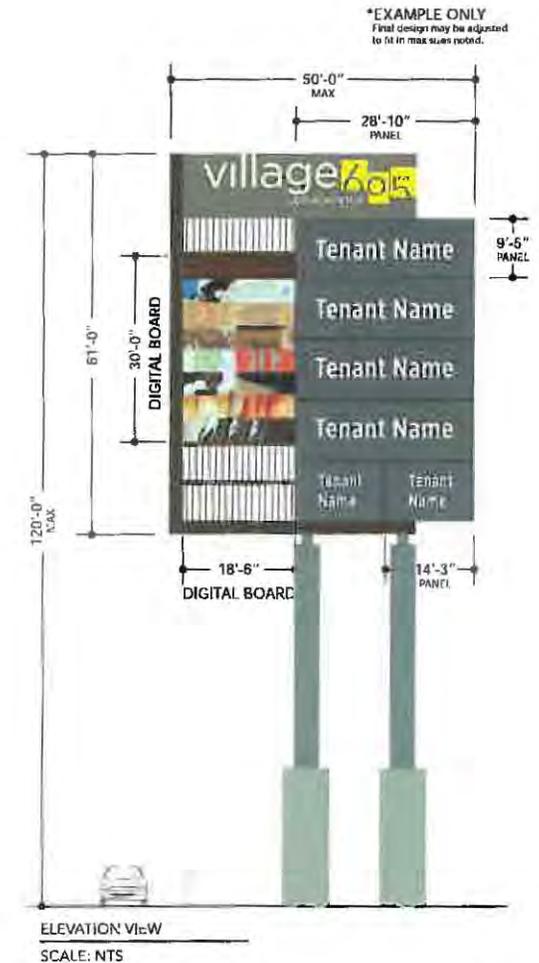


## KEY PLAN



<b>PURPOSE</b>	To identify business names occupying the building suites within the center. Tenants are defined as an occupant who is deemed by the Property Owner, per their lease, to have the right to have their company name on the freeway pylon.
<b>MAXIMUM NUMBER</b>	One.
<b>LOCATION</b>	Behind property line.
<b>ORIENTATION</b>	Perpendicular to freeway. Double-faced
<b>SIGN COPY</b>	Business name and or logo per defined location, two-lines of copy maximum.
<b>MAX. SIGN AREA &amp; SIZE</b>	Width: 50'-0" Height: 61'-0" Sign Area: 3,050sq. ft. Max
<b>SIGN CONSTRUCTION</b>	To be completed by a licensed contractor / professional sign fabricator (cabinet signs with translucent or transparent backgrounds are not permitted). Aluminum frame and or architectural / structural metal materials permitted. All materials to be standard construction grade.
<b>ILLUMINATION</b>	Internally illuminated. No exposed neon lighting allowed.
<b>LOGO / LOGOTYPE</b>	Permitted. Must be approved by the Property Owner.
<b>LETTER STYLE</b>	Logo-typefaces permitted. Lettering must be approved by the Property Owner. If no logo-type is approved, tenant must use project font, all white in color.
<b>COLORS</b>	White, Gray, Green, Beige, Brown, and RGB

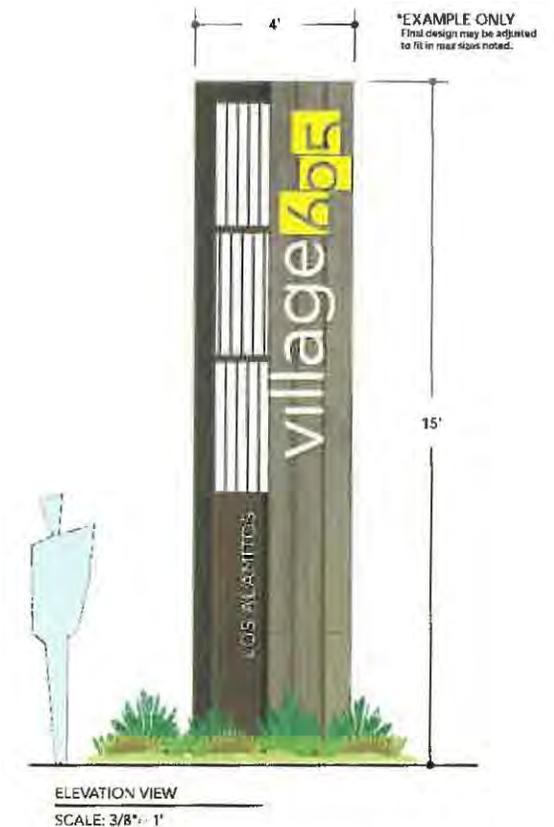
## SIGN TYPE A FREEWAY PYLON



<b>PURPOSE</b>	To identify the center.
<b>MAXIMUM NUMBER</b>	Two.
<b>LOCATION</b>	At entrance from Katella as you drive in.
<b>ORIENTATION</b>	Angled toward entrance from street, Single-faced.
<b>SIGN COPY</b>	Project name.
<b>MAX. SIGN AREA &amp; SIZE</b>	Width: 4'-0" Height: 15'-0" Sign Area: 60sq. ft.
<b>SIGN CONSTRUCTION</b>	To be completed by a licensed contractor / professional sign fabricator (cabinet signs with translucent or transparent backgrounds are not permitted). Aluminum frame and or architectural / structural metal materials permitted. All materials to be standard construction grade.
<b>ILLUMINATION</b>	Concealed, external, low-profile, floodlighting; or internally illuminated in a manner that lights only the sign copy. Illumination of sign background is prohibited. Lighting shall be designed so as not to cause glare to motorists. Exposed neon and exposed raceways are prohibited
<b>LOGO / LOGOTYPE</b>	Permitted for project name only.
<b>LETTER STYLE</b>	Sign copy color should contrast with background color.
<b>COLORS</b>	White, Gray, Green, Beige and Brown.

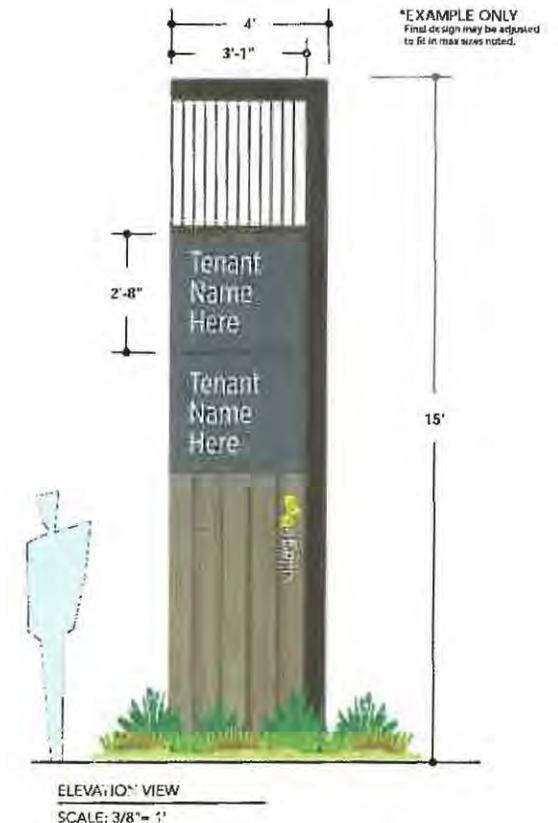
## SIGN TYPE B

### ENTRY MONUMENT



<b>PURPOSE</b>	To identify the name and / or address of a building & its tenants.
<b>MAXIMUM NUMBER</b>	Three.
<b>LOCATION</b>	Within property lines, outside of limited use areas along Katella.
<b>ORIENTATION</b>	Perpendicular to street.
<b>SIGN COPY</b>	Project name and / or address up to two tenant names on each side. Brand names and info which makes sign appear to be an advertisement, such as ® and ™ are prohibited.
<b>MAX. SIGN AREA &amp; SIZE</b>	Width: 4'-0" Height: 15'-0" Sign Area: 60sq. ft.
<b>SIGN CONSTRUCTION</b>	To be completed by a licensed contractor / professional sign fabricator (cabinet signs with translucent or transparent backgrounds are not permitted). Aluminum frame and or architectural / structural metal materials permitted. All materials to be standard construction grade.
<b>ILLUMINATION</b>	Concealed, external, low-profile, floodlighting; or internally illuminated in a manner that lights only the sign copy. Illumination of sign background is prohibited. Lighting shall be designed so as not to cause glare to motorists. Exposed neon and exposed raceways are prohibited
<b>LOGO / LOGOTYPE</b>	Permitted, must be approved by the Property Owner.
<b>LETTER STYLE</b>	Sign copy color should contrast with background color.
<b>COLORS</b>	White, Gray, Green, Beige and Brown.

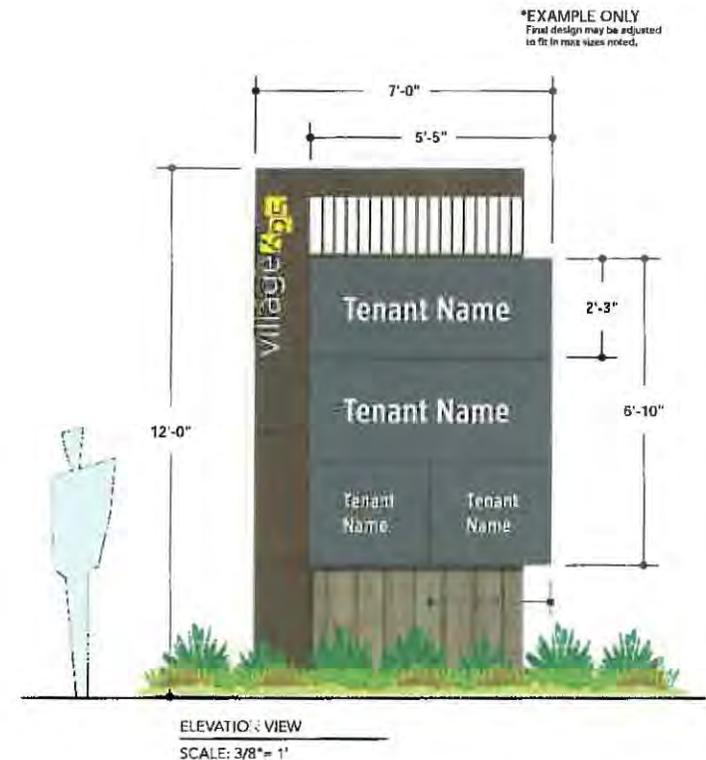
## SIGN TYPE C TENANT MONUMENT



<b>PURPOSE</b>	To identify the project name, addresses, and or its tenants.
<b>MAXIMUM NUMBER</b>	One.
<b>LOCATION</b>	At entrance of site from Katella.
<b>ORIENTATION</b>	Perpendicular to entry. Single-faced
<b>SIGN COPY</b>	Project name and / or address up to four tenant names. Brand names and info which makes sign appear to be an advertisement, such as ® and ™ are prohibited.
<b>MAX. SIGN AREA &amp; SIZE</b>	Width: 7'-0" Height: 12'-0" Sign Area: 84sq. ft.
<b>SIGN CONSTRUCTION</b>	To be completed by a licensed contractor / professional sign fabricator (cabinet signs with translucent or transparent backgrounds are not permitted). Aluminum frame and or architectural / structural metal materials permitted. All materials to be standard construction grade.
<b>ILLUMINATION</b>	Concealed, external, low-profile, floodlighting; or internally illuminated in a manner that lights only the sign copy. Illumination of sign background is prohibited. Lighting shall be designed so as not to cause glare to motorists. Exposed neon and exposed raceways are prohibited
<b>LOGO / LOGOTYPE</b>	Permitted, must be approved by the Property Owner.
<b>LETTER STYLE</b>	Sign copy color should contrast with background color.
<b>COLORS</b>	White, Gray, Green, Beige and Brown.

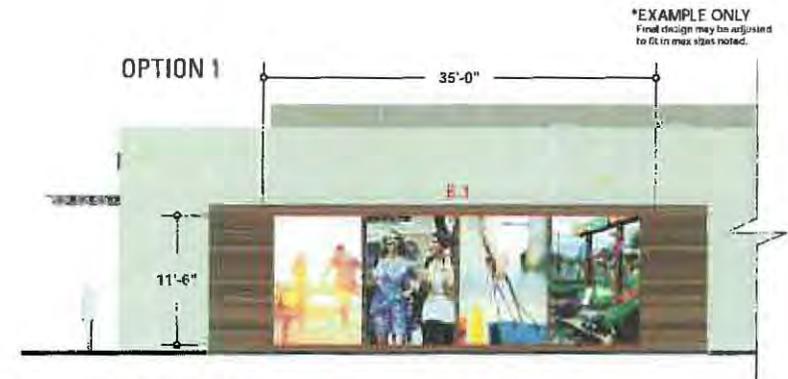
## SIGN TYPE D

### ENTRY TENANT WALL

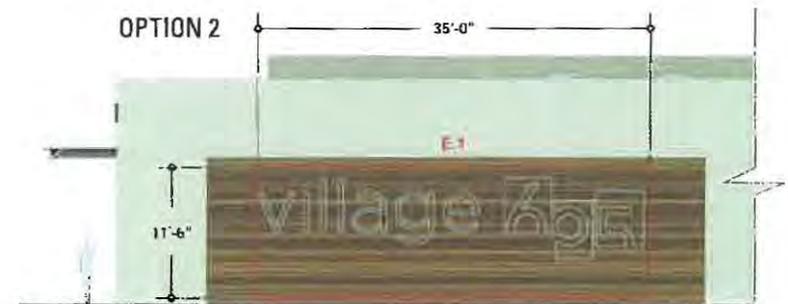


<b>PURPOSE</b>	To identify the center.
<b>MAXIMUM NUMBER</b>	One.
<b>LOCATION</b>	Location as indicated in the following exhibits.
<b>ORIENTATION</b>	Parallel to wall toward street, parking lot or pedestrian area.
<b>SIGN COPY</b>	Project name and / or tenant signs. Brand names and info which makes sign appear to be an advertisement, such as ® and ™ are prohibited.
<b>MAX. SIGN AREA &amp; SIZE</b>	Width: 35'-0" Height: 11'-6" Sign Area: 402.5sq. ft. Max
<b>SIGN CONSTRUCTION</b>	To be completed by a licensed contractor / professional sign fabricator (cabinet signs with translucent or transparent backgrounds are not permitted). Aluminum frame and or architectural / structural metal materials permitted. All materials to be standard construction grade.
<b>ILLUMINATION</b>	None.
<b>LOGO / LOGOTYPE</b>	Permitted. Must be approved by the Property Owner.
<b>LETTER STYLE</b>	Logo-typefaces permitted. Lettering must be approved by the Property Owner. If no logo-type is approved, tenant must use project font, all white in color.
<b>COLORS</b>	Logo colors must contrast building facade. <i>Exact finish details tbd.</i>

## SIGN TYPE E ART WALL



ELEVATION - TYPICAL  
SCALE: 3/32" = 1'

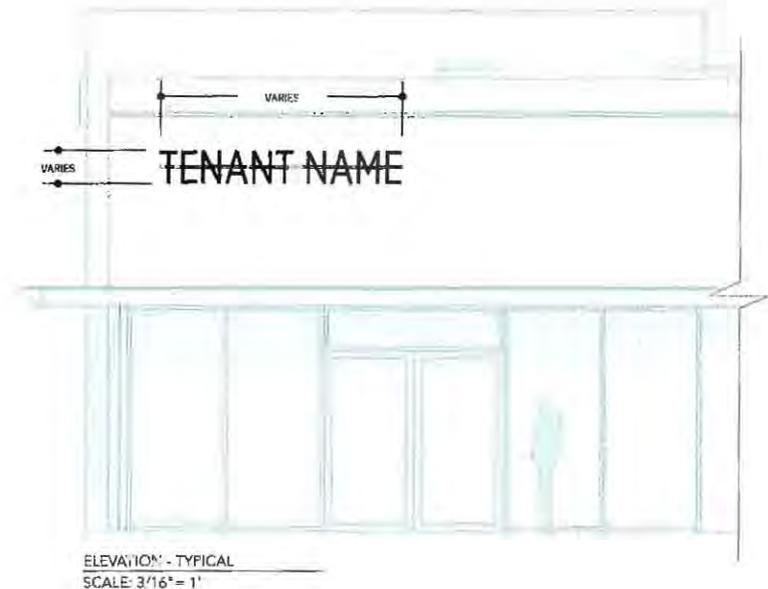


ELEVATION - TYPICAL  
SCALE: 3/32" = 1'

<b>PURPOSE</b>	To identify primary business names occupying the Village 605. Primary tenants are defined as an occupant who is deemed by the Property Owner, per their lease, to have the right to have their company name on their storefront.
<b>MAXIMUM NUMBER</b>	One per tenant. An individual tenant shall have one sign per building-front elevation, however, multiple signs may be allowed in certain instances for larger tenants as indicated in the following exhibits.
<b>LOCATION</b>	Mounted to existing structural mounting system installed by Property Owner. Locations as indicated in the following exhibits.
<b>ORIENTATION</b>	Parallel to wall toward street, parking lot or pedestrian area.
<b>SIGN COPY</b>	Only name and / or symbol of building occupant. Brand names and information which make the sign appear to be advertisement, such as ® and ™ are prohibited.
<b>MAX. SIGN AREA &amp; SIZE</b>	Width: Varies per elevation (see pages 6.1-6.6) Height: See elevations Sign Area: 1.5 times lineal foot of tenant frontage plus 30%.
<b>SIGN CONSTRUCTION</b>	Individual letter and logos only. No cabinet signs or cloud signs allowed. Tenant is only permitted to mount directly to structural mounting system. Align business name to center of aluminum rail to be attached to structural mounting system. Structural mounting system is intended to preserve architectural features/materials. No exposed wiring allowed.
<b>ILLUMINATION</b>	Halo (indirect / silhouette) or face permitted. No exposed neon lighting allowed.
<b>LOGO / LOGOTYPE</b>	Permitted. Must be approved by the Property Owner.
<b>LETTER STYLE</b>	Logo-typefaces permitted. Lettering must be approved by the Property Owner. If no logo-type is approved, tenant must use project font, all white in color.
<b>COLORS</b>	Tenant logo colors must contrast building facade. <i>Exact finish details to vary.</i>

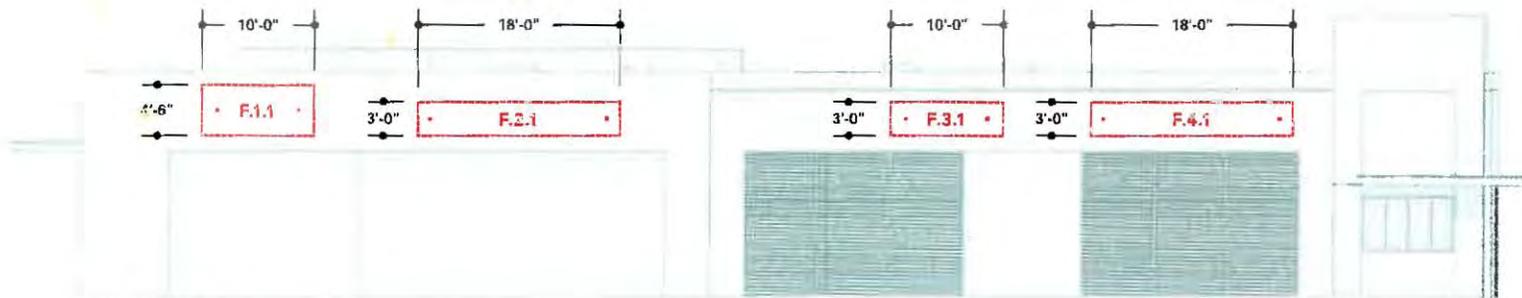
## SIGN TYPE F

BUILDING TENANT ID

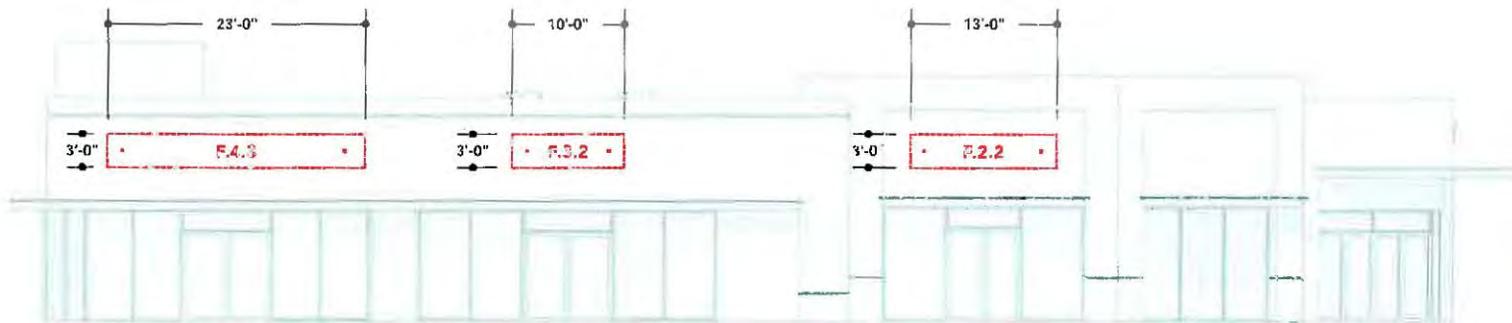


# SIGN TYPE F

BUILDING TENANT ID ELEVATION



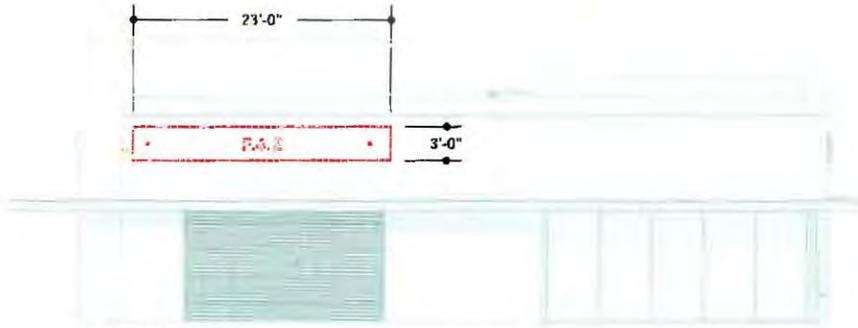
PAD A - NORTH ELEVATION  
SCALE: 3/32" = 1'



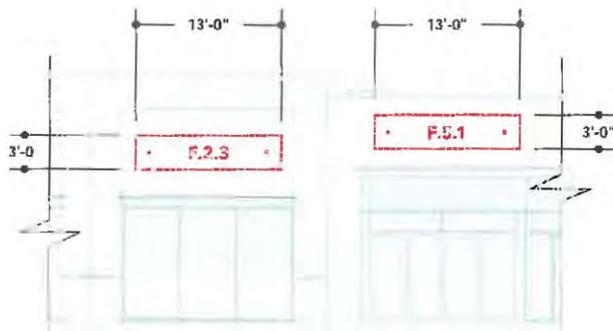
PAD A - SOUTH ELEVATION  
SCALE: 3/32" = 1'

# SIGN TYPE F

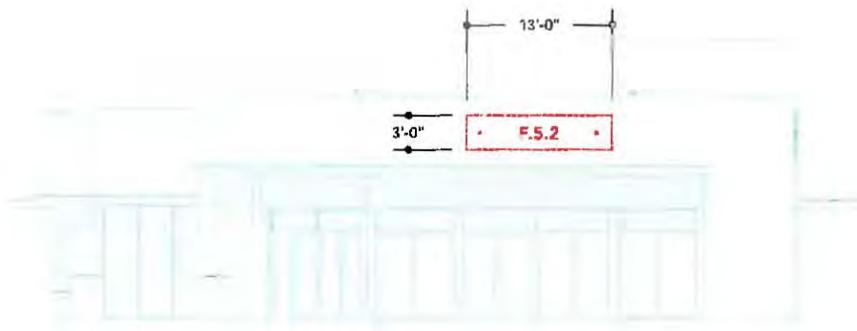
BUILDING TENANT ID ELEVATION



PAD A - WEST ELEVATION  
SCALE: 3/32" = 1'



PAD A - SOUTH-EAST ELEVATION  
SCALE: 3/32" = 1'



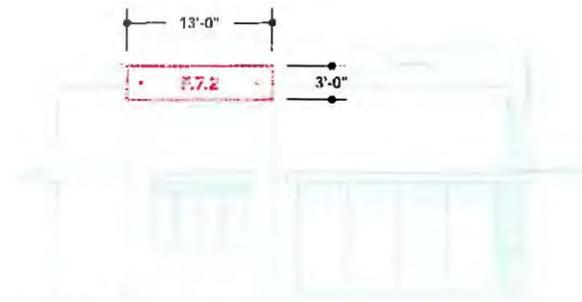
PAD A - EAST ELEVATION  
SCALE: 3/32" = 1'

# SIGN TYPE F

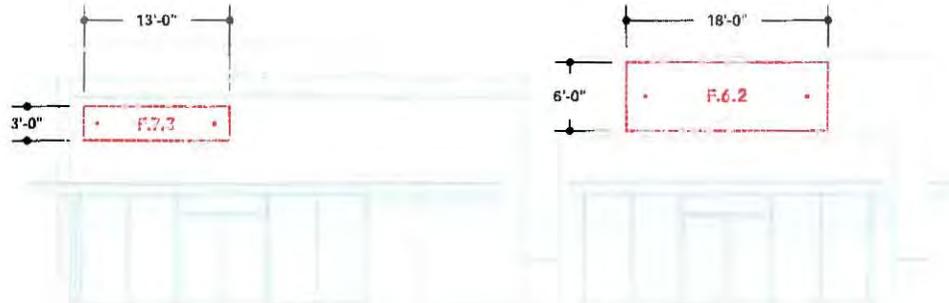
BUILDING TENANT ID ELEVATION



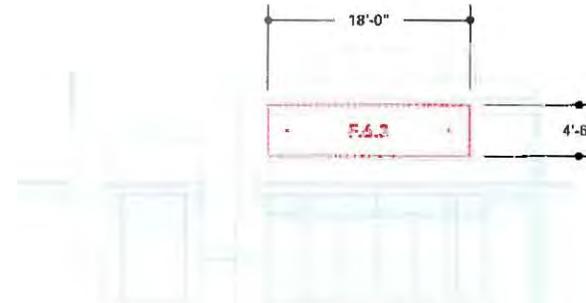
PAD B - NORTH ELEVATION  
SCALE: 3/32" = 1'



PAD B - WEST ELEVATION  
SCALE: 3/32" = 1'



PAD B - SOUTH ELEVATION  
SCALE: 3/32" = 1'

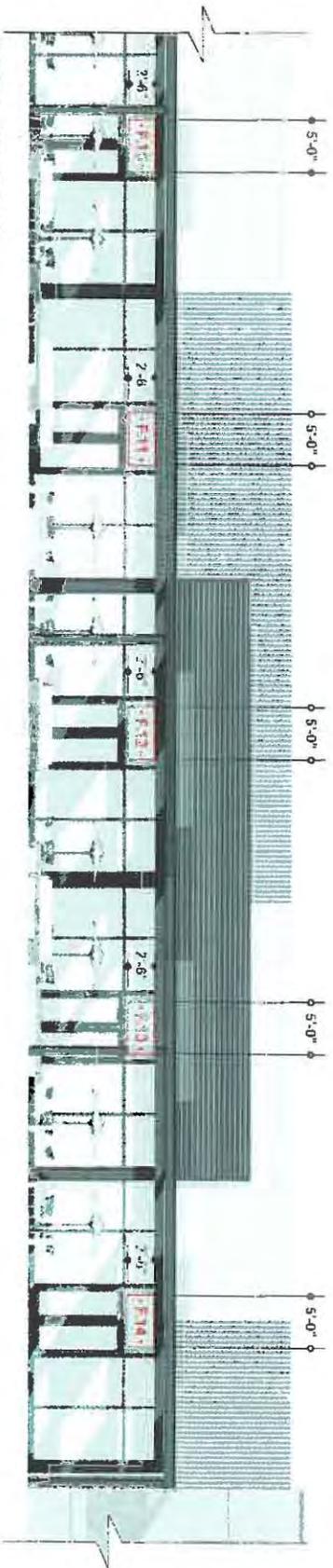


PAD B - EAST ELEVATION  
SCALE: 3/32" = 1'

**SIGN TYPE F**  
BUILDING TENANT ID ELEVATION

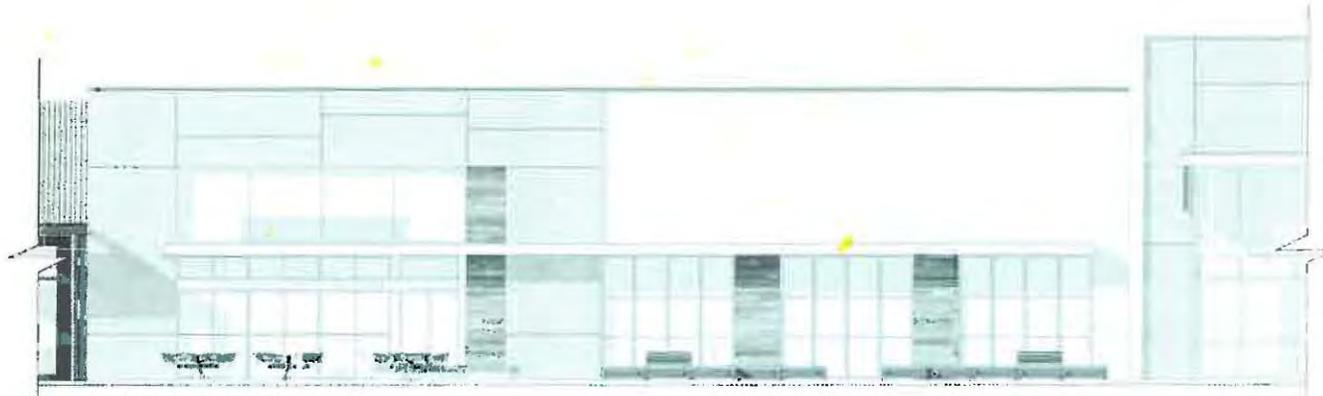


MAJOR C & S - OPS 11 - NORTH ELEVATION  
SCALE: 3/32" = 1'

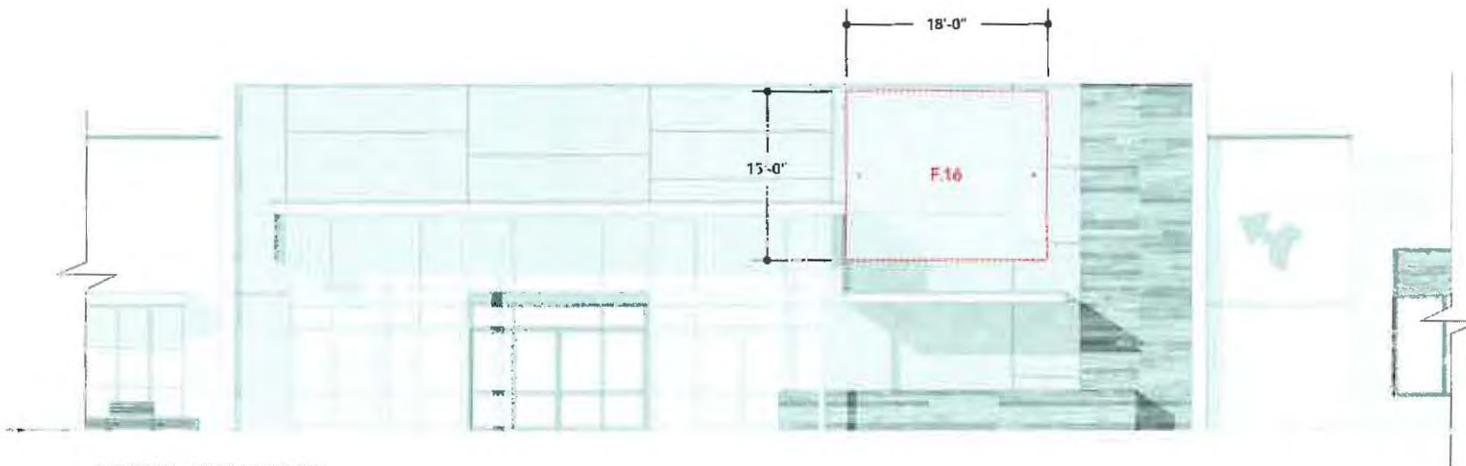


SHEETS 1.2 - NORTH ELEVATION  
SCALE: 3/32" = 1'

**SIGN TYPE F**  
BUILDING TENANT ID ELEVATION

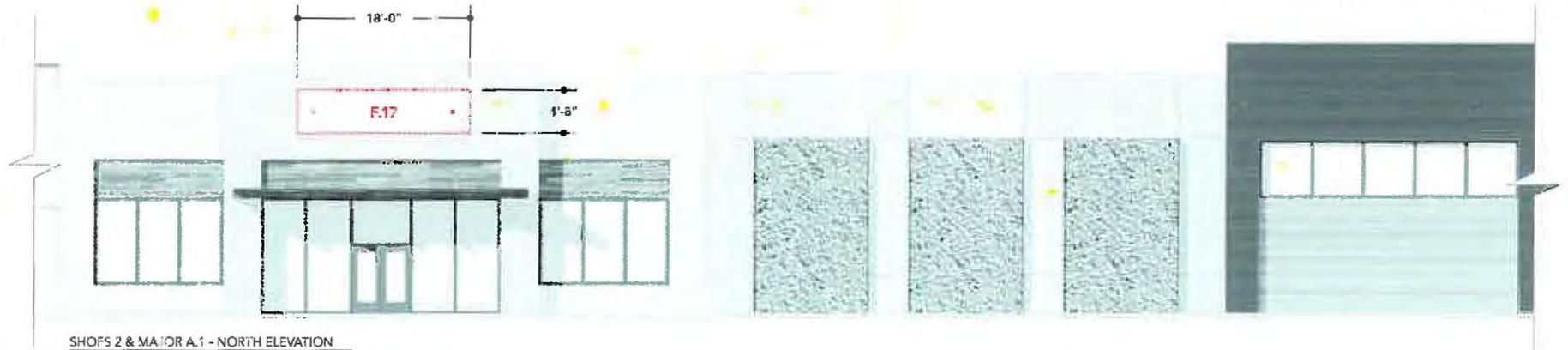


MAJOR B.1 - NORTH ELEVATION  
SCALE: 3/32" = 1'



MAJOR B.2 - NORTH ELEVATION  
SCALE: 3/32" = 1'

**SIGN TYPE F**  
BUILDING TENANT ID ELEVATION



SHOPS 2 & MAJOR A.1 - NORTH ELEVATION  
SCALE: 3/32" = 1'

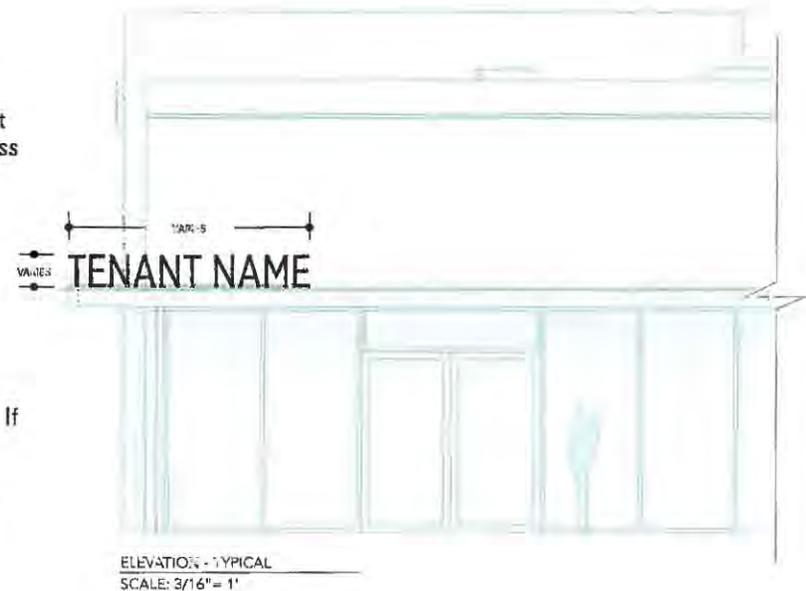


MAJOR A.2 - NORTH ELEVATION  
SCALE: 3/32" = 1'

<b>PURPOSE</b>	To identify primary business names occupying the Village 605. Primary tenants are defined as an occupant who is deemed by the Property Owner, per their lease, to have the right to have their company name on their storefront.
<b>MAXIMUM NUMBER</b>	One per tenant. An individual tenant shall have one sign per building-front pergola, however, some tenants do not have pergola for signage.
<b>LOCATION</b>	Mounted to existing structural mounting system installed by Property Owner. Locations as indicated in the following exhibits.
<b>ORIENTATION</b>	Parallel to wall toward street, parking lot or pedestrian area.
<b>SIGN COPY</b>	Only name and / or symbol of building occupant. Brand names and information which make the sign appear to be advertisement, such as ® and ™ are prohibited.
<b>MAX. SIGN AREA &amp; SIZE</b>	Width: Varies per elevation (see page 7.1) Height: See elevations Sign Area: 1.5 times lineal foot of tenant frontage plus 30%.
<b>SIGN CONSTRUCTION</b>	Individual letter and logos only. No cabinet signs or cloud signs allowed. Tenant is only permitted to mount directly to structural mounting system. Align business name to center of aluminum bar to be attached to structural mounting system. Structural mounting system is intended to preserve architectural features/materials. No exposed wiring allowed & back of signage must be finished.
<b>ILLUMINATION</b>	No exposed neon lighting allowed.
<b>LOGO / LOGOTYPE</b>	Permitted. Must be approved by the Property Owner.
<b>LETTER STYLE</b>	Logo-typefaces permitted. Lettering must be approved by the Property Owner. If no logo-type is approved, tenant must use project font, all white in color.
<b>COLORS</b>	Tenant logo colors must contrast building facade. <i>Exact finish details to vary.</i>

## SIGN TYPE G

SECONDARY TENANT ID

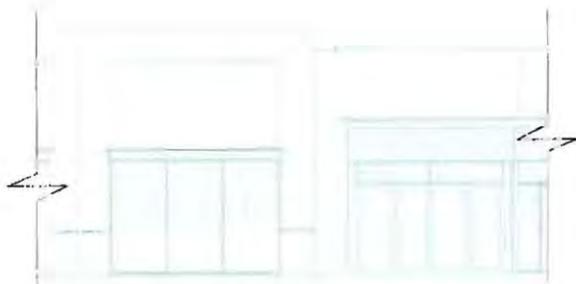


# SIGN TYPE G

SECONDARY TENANT ID ELEVATION



PAD A - WEST ELEVATION  
SCALE: 3/32" = 1'

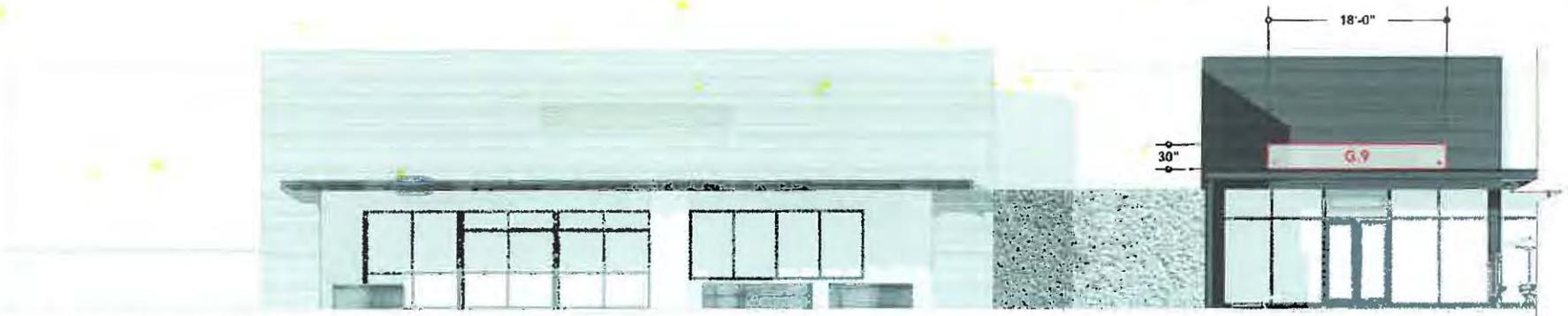


PAD A - SOUTH-EAST ELEVATION  
SCALE: 3/32" = 1'



PAD A - EAST ELEVATION  
SCALE: 3/32" = 1'

**SIGN TYPE G**  
 SECONDARY TENANT ID ELEVATION

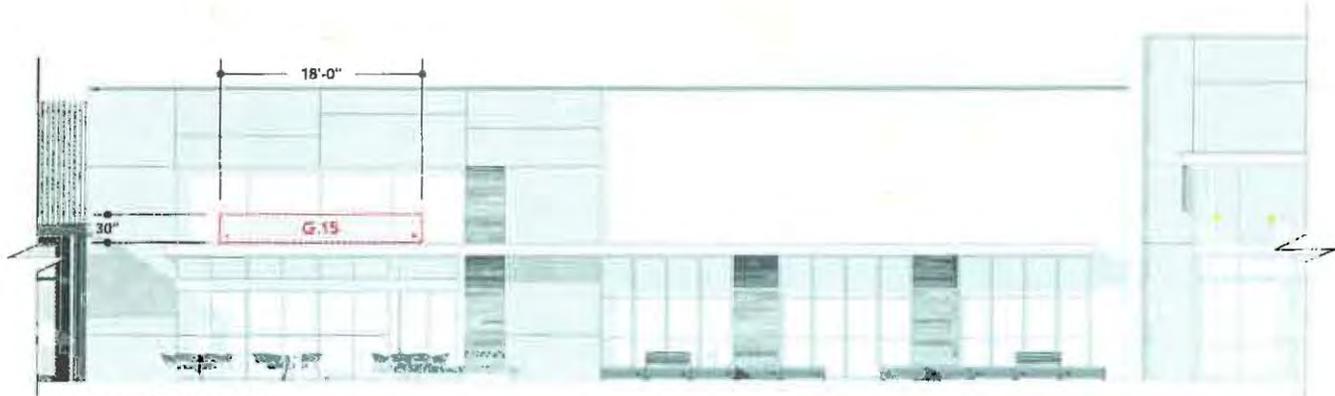


MAJOR C & SHOPS 1.1 - NORTH ELEVATION  
 SCALE: 3/32" = 1'

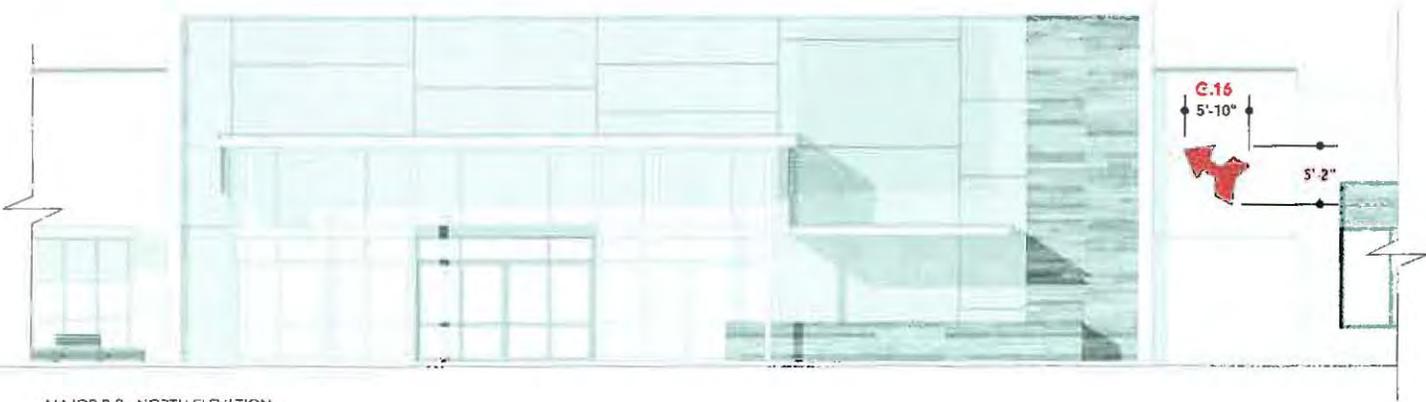


SHOPS 1.2 - NORTH ELEVATION  
 SCALE: 3/32" = 1'

**SIGN TYPE G**  
SECONDARY TENANT ID ELEVATION



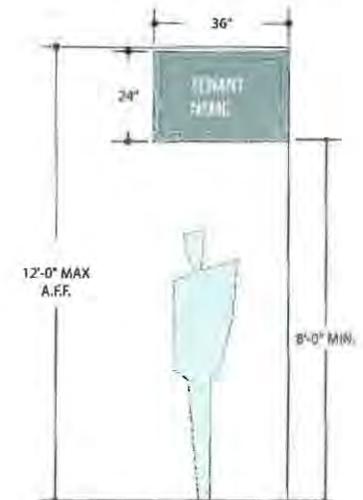
MAJOR B.1 - NORTH ELEVATION  
SCALE: 3/32" = 1'



MAJOR B.2 - NORTH ELEVATION  
SCALE: 3/32" = 1'

<b>PURPOSE</b>	Permanent wall sign at a multi-occupant retail building with exclusive exterior entrances. To identify the occupants of a multi-tenant retail building to pedestrian customers.
<b>MAXIMUM NUMBER</b>	No more than one sign per tenant space entrance.
<b>LOCATION/ ORIENTATION</b>	Perpendicular to the wall on exterior facade not to project within 2 feet of the curb line
<b>SIGN COPY</b>	Name and or logo of tenant. Info which makes sign appear to be an advertisement, such as ® and ™ are prohibited.
<b>SIDES</b>	Double-sided
<b>MAX. SIGN AREA &amp; SIZE</b>	Width: 36" Height: 24" Letter Height: 12" Max Logo/Symbol Height: 20" Max Sign Area: 6 sq. ft. Max
<b>SIGN CONSTRUCTION</b>	To be completed by a licensed contractor / professional sign fabricator (cabinet signs with translucent or transparent backgrounds are not permitted). Materials may include metal and wood. Materials must be approved by Property Owner.
<b>ILLUMINATION</b>	Optional. Internally illuminated or externally illuminated signs are permitted. Exposed neon is prohibited.
<b>LOGO / LOGOTYPE</b>	Permitted.
<b>LETTER STYLE</b>	Lettering must be approved by the Property Owner. If no logo-type is approved, tenant must use project font.
<b>COLORS</b>	To be determined. Colors must be approved by Property Owner.

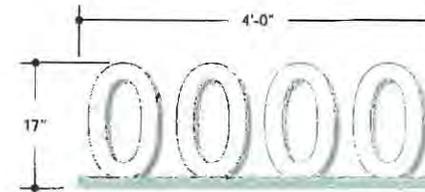
## SIGN TYPE H BLADE SIGN (TYPICAL)



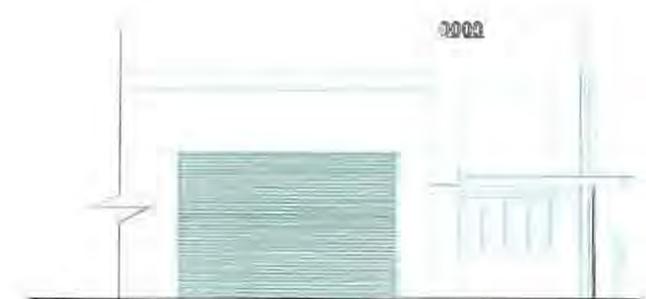
ELEVATION - TYPICAL  
SCALE: 3/16" = 1'

<b>PURPOSE</b>	To identify building address.
<b>MAXIMUM NUMBER</b>	One per building.
<b>LOCATION</b>	Mounted to existing structural mounting system installed by Property Owner. Locations as indicated in the following exhibits.
<b>ORIENTATION</b>	Parallel to wall toward street, parking lot or pedestrian area.
<b>SIGN COPY</b>	Building address numbers.
<b>MAX. SIGN AREA &amp; SIZE</b>	Width: 4'-0" Height: 17" Sign Area: 6sq. ft. Max
<b>SIGN CONSTRUCTION</b>	Individual numbers only. No cabinet signs or cloud signs allowed. Numbers are only permitted to mount directly to structural mounting system. Align numbers to center of aluminum bar to be attached to structural mounting system. Structural mounting system is intended to preserve architectural features/materials. No exposed wiring allowed.
<b>ILLUMINATION</b>	Internally illuminated or halo-lit numbers. No exposed neon lighting allowed.
<b>LOGO / LOGOTYPE</b>	Not permitted.
<b>LETTER STYLE</b>	Project font only.
<b>COLORS</b>	Must contrast building facade. <i>Exact finish details to be determined.</i>

## SIGN TYPE I ADDRESS SIGN



DESIGN - TYPICAL  
SCALE: 3/4" = 1'



ELEVATION - TYPICAL  
SCALE: 3/32" = 1'